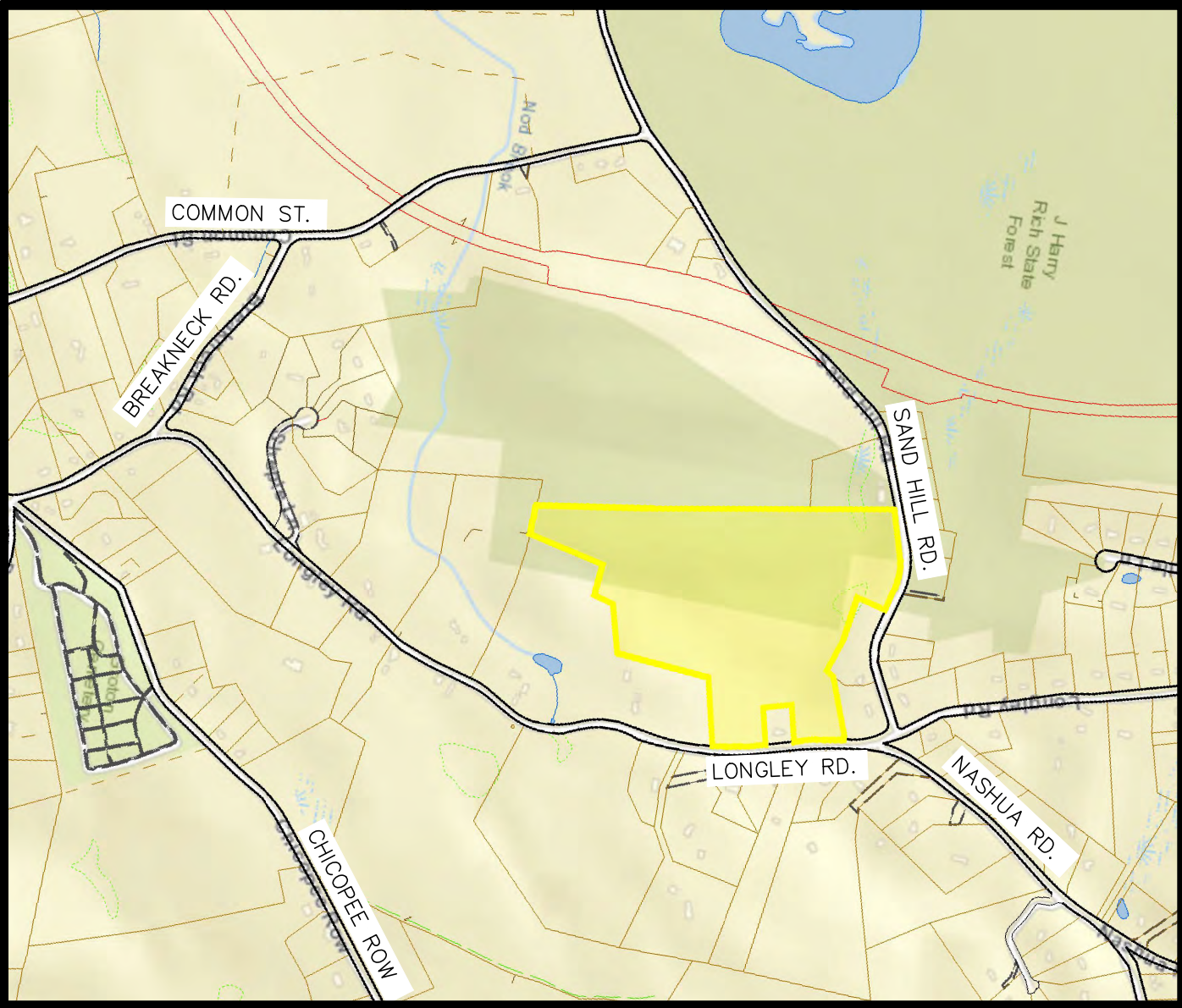
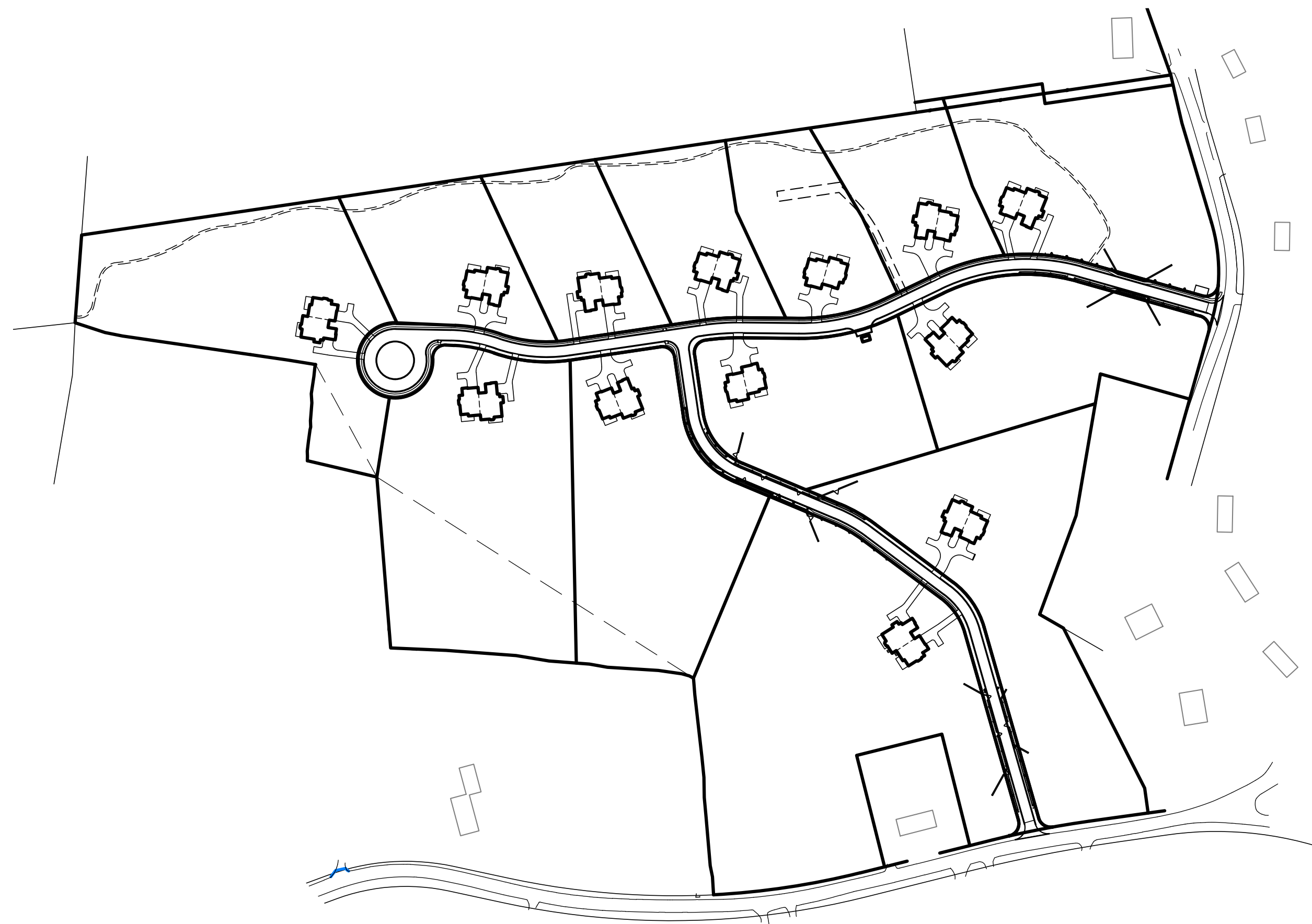
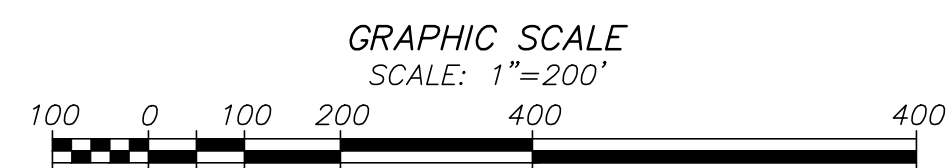




LOCUS MAP:
SCALE: 1" = 1000'



LOCUS CONTEXT MAP:



THE VILLAGE AT SHEPLEY HILL

SAND HILL ROAD & LONGLEY ROAD
(ASSESSOR'S PARCEL # 226 - 2)
-APPLICATION FOR A DEFINITIVE SUBDIVISION-

**PLANS AND DESIGN HAVE BEEN DEVELOPED IN ACCORDANCE WITH
THE PERFORMANCE STANDARDS SET FORTH IN THE GROTON ZONING
BYLAWS, SUBDIVISION RULES & REGULATIONS, AND EARTH REMOVAL
& STORMWATER MANAGEMENT BY-LAWS**

LOCATED IN
GROTON, MASSACHUSETTS
DATE: FEBRUARY 5, 2021

APPLICANT:
SHEPLEY HILL CAPITAL PARTNERS LLC
176 BARTON ROAD
STOWE, MASSACHUSETTS 01775
(617) 834-2556

RECORD OWNER:
H & G REALTY TRUST
LONGLEY ROAD
383 MAIN STREET
DUNSTABLE, MASSACHUSETTS 01827

LAND SURVEYOR/SITE CIVIL ENGINEER:



DRAWING INDEX:

SHEET 1	COVER SHEET & LOCUS CONTEXT MAP
SHEET 2-6	RECORD CONDITIONS PLANS
SHEET 7-11	PROPERTY RIGHTS PLANS
SHEET 12-16	GRADING/DRAINAGE PLANS
SHEET 17-21	PLANS & PROFILES
SHEET 22	EROSION & SEDIMENT CONTROL PLAN
SHEET 23-27	DETAIL SHEETS

REQUESTED WAIVERS:

- SECTION 381-10.C(2) - STREET WIDTHS
MINOR STREETS: 50 FEET OF RIGHT-OF-WAY AND PAVEMENT TO BE 22 FEET.
LANE PROPOSED PER PB REQUEST (40 FOOT R.O.W., PAVEMENT 20 FEET).
- SECTION 381-10.D(5) - GRADES
ALLOW CUTS AND FILLS GREATER THAN 7 FEET.

I DECLARE, TO THE BEST OF MY PROFESSIONAL
KNOWLEDGE, INFORMATION, AND BELIEF, THAT
THIS PLAN WAS PREPARED IN ACCORDANCE WITH
THE RULES AND REGULATIONS OF THE REGISTERS
OF DEEDS.

NOTE:

NO CONSTRUCTION SHALL COMMENCE PRIOR TO ENDORSEMENT BY THE PLANNING
BOARD AND EVIDENCE OF RECORDING THE DEFINITIVE PLAN AND COVENANT AT THE
REGISTRY OF DEEDS IS SUBMITTED TO THE PLANNING BOARD.

APPROVED BY:
GROTON PLANNING BOARD

FOR MERIDIAN ASSOCIATES, INC.

FOR REGISTRY OF DEEDS USE ONLY

I, _____, CLERK OF THE TOWN OF GROTON,
MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF
THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND
RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED
DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF
SAID NOTICE.

TOWN CLERK

DATE

DATE:

[illegible]

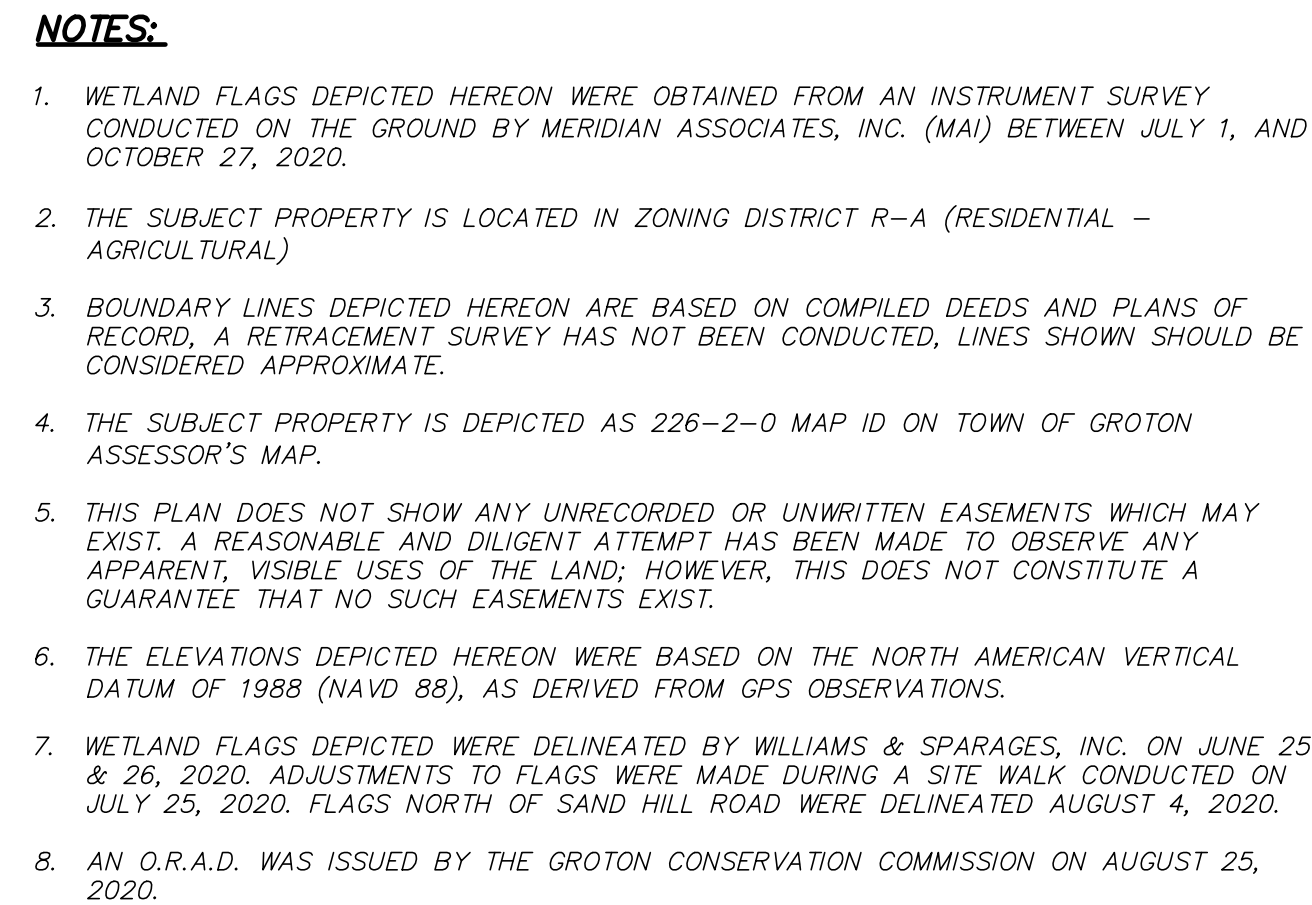
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

WWW.MERIDIANASSOC.COM	CHECKED BY: CEW
-----------------------	-----------------

DESIGNED BY:	CHECKED BY: CEW
--------------	-----------------

DATE: FEBRUARY 5, 2021
SCALE: 1"=100'
SHEET No. 2 OF 27
PROJECT No. 6332

Copyright © by Meridian Associates, Inc. All rights reserved.



H & G REALTY TRUST
LONGLEY ROAD
383 MAIN STREET
DUNSTABLE, MA 01827
- BOOK 19574 PAGE 223

- PLAN NO. 571 OF 2014
- PLAN NO. 899 OF 2006
- PLAN NO. 853 OF 1988

DOCUMENTS ON RECORD AT THE MIDDLESEX SOUTH
DISTRICT REGISTRY OF DEEDS.

- AN UNRECORDED PLAN TITLED "PRELIMINARY PLAN OF LAND, GROTON, MASS." PREPARED BY NORSE DESIGN SERVICES, INC. LAST REVISED APRIL 26, 2004
- PRELIMINARY SUBDIVISION PLANS ENTITLED "THE VILLAGE AT SHEPLEY HILL" PREPARED BY MERIDIAN ASSOCIATES, INC. LAST REVISED OCT. 5, 2020 AND APPROVED OCT. 8, 2020

GRAPHIC SCALE
SCALE: 1" = 100'



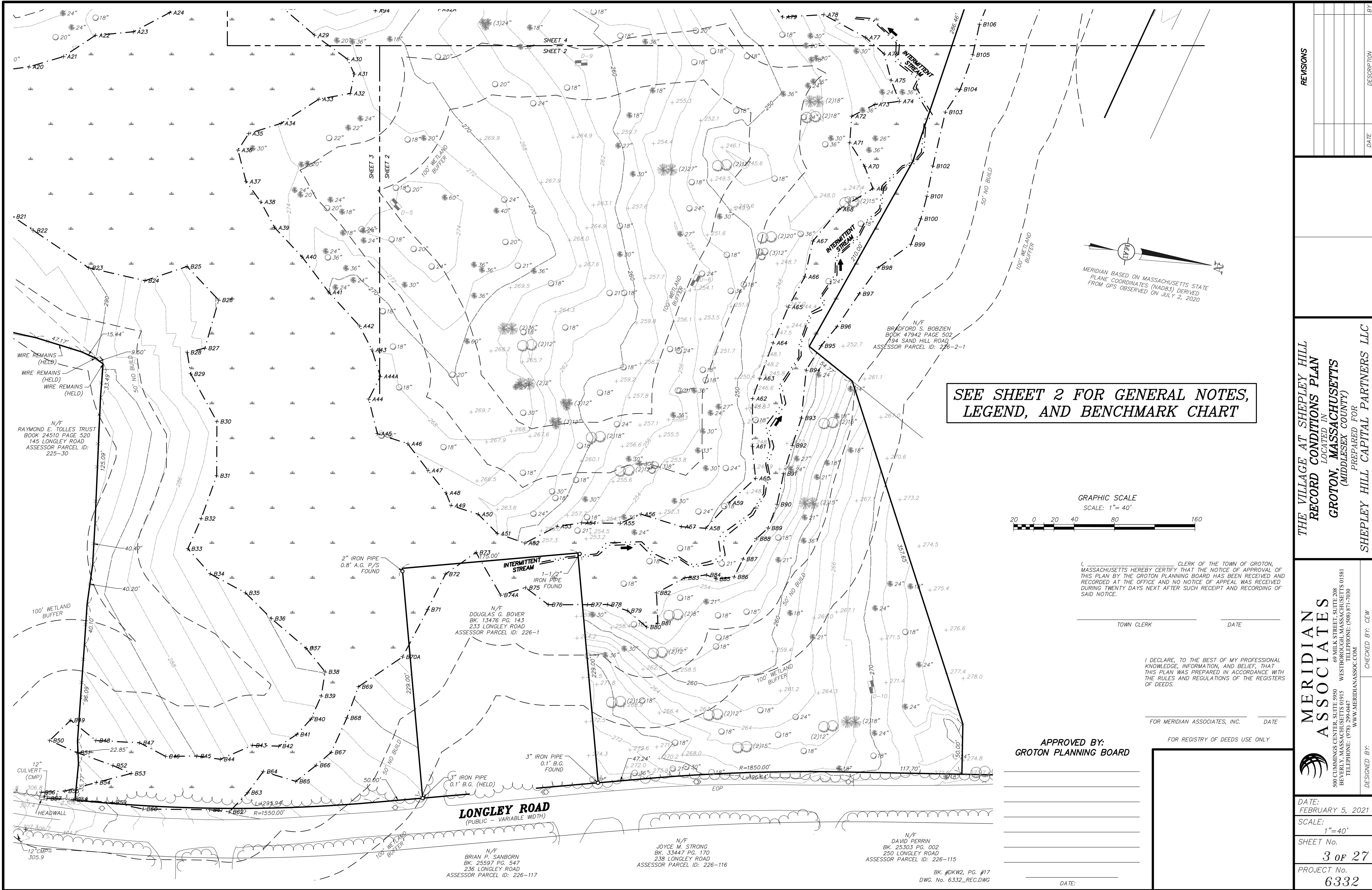
I, _____ CLERK OF THE TOWN OF GROTON,
MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF
THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND
RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED
DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF
SAID NOTICE.

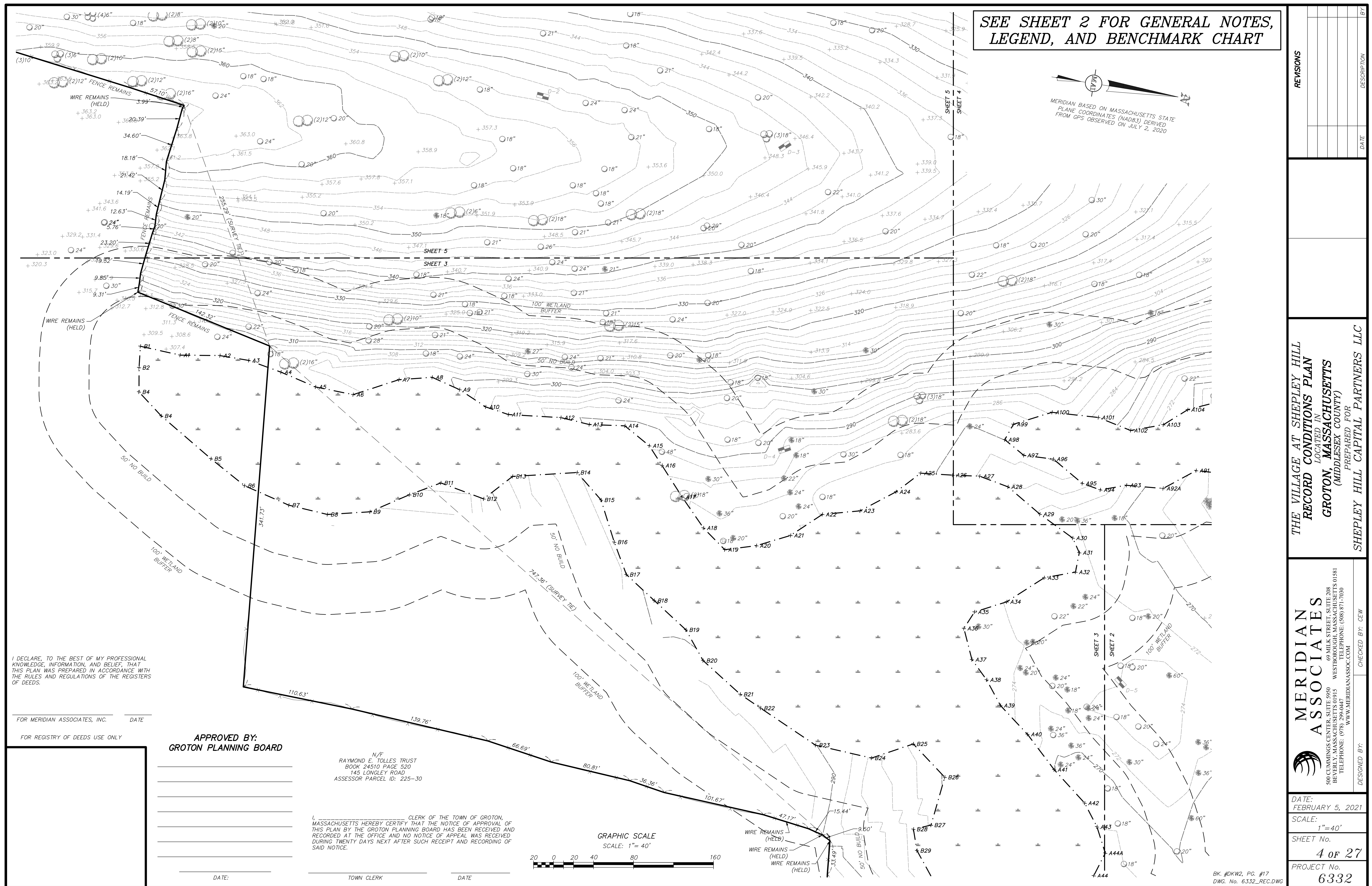
TOWN CLERK

DATE _____

DATE: _____

BK. #DKW2, PG. #17
DWG. No. 6332_REC.DWG



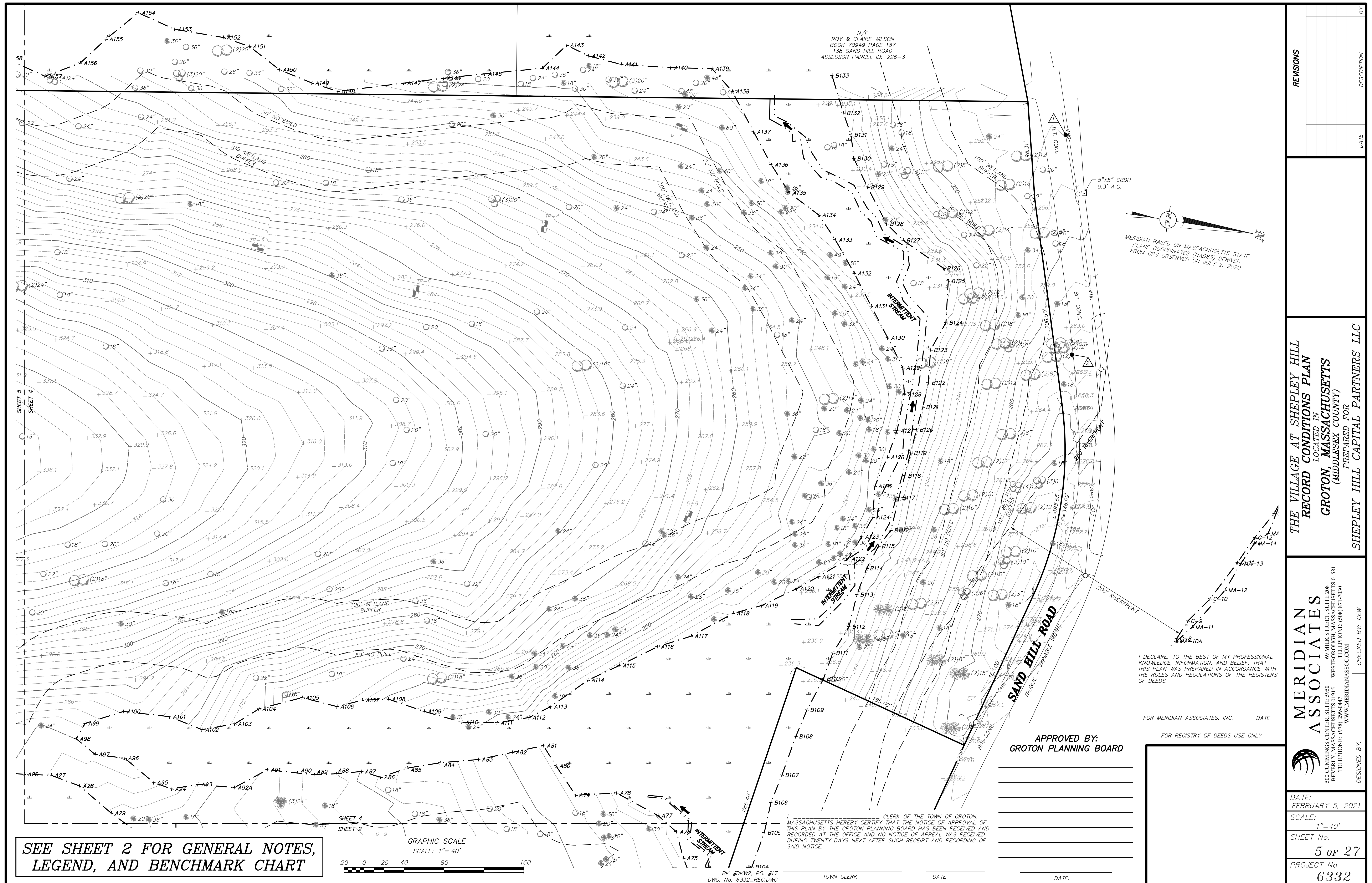


REVIEWS		
DATE	DESCRIPTION	BY

**THE VILLAGE AT SHEPLEY HILL
RECORD CONDITIONS PLAN
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC**

MERIDIAN ASSOCIATES
 500 CUMMINGS CENTER, SUITE 3500
 1000 BROADWAY, SUITE 1515
 TELEPHONE: (978) 299-0447
 WWW.MERIDIANASSOC.COM

DATE: FEBRUARY 5, 2021
SCALE: 1"=40'
SHEET No. 4 OF 27
PROJECT No. 6332

[illegible]

RECORD CONDITIONS PLAN
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC


MERIDIAN ASSOCIATES
 500 CUMMINGS CENTER, SUITE 5950
 BEVERLY, MASSACHUSETTS 01915
 TELEPHONE: (978) 299-0447
 WWW.MERIDIANASSOC.COM

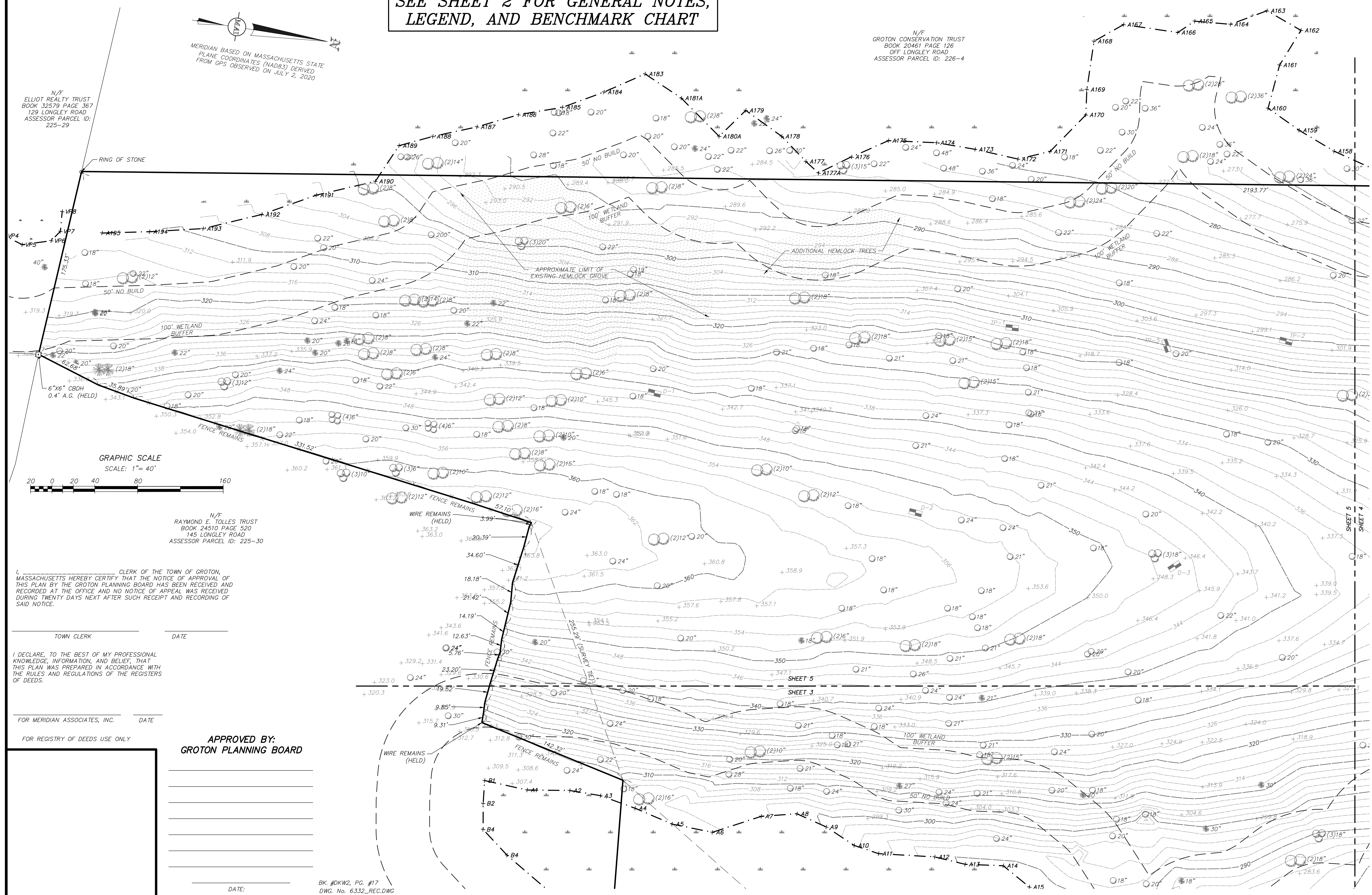
TE: BRUARY 5, 2021
SCALE: 1"=40'
EET No. 5 OF 27
OBJECT No. 6332



MERIDIAN BASED ON MASSACHUSETTS STATE
PLANE COORDINATES (NAD83) DERIVED
FROM GPS OBSERVED ON JULY 2, 2020

N/F
ELLIOT REALTY TRUST
BOOK 32579 PAGE 367
129 LONGLEY ROAD
ASSESSOR PARCEL ID:
225-29

N/F
GROTON CONSERVATION TRUST
BOOK 20461 PAGE 126
OFF LONGLEY ROAD
ASSESSOR PARCEL ID: 226-4



N/F
RAYMOND E. TOLLES TRUST
BOOK 24510 PAGE 520
145 LONGLEY ROAD
ASSESSOR PARCEL ID: 225-30

I, _____ CLERK OF THE TOWN OF GROTON,
MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF
THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND
RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED
DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF
SAID NOTICE.

TOWN CLERK

DATE

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE

FOR REGISTRY OF DEEDS USE ONLY

*APPROVED BY:
GROTON PLANNING BOARD*

[illegible]

DATE: _____ BK. #DKW2, PG. #17 \

DWG. No. 6332_REC.DWG

REVISIONS			
DATE	DESCRIPTION	BY	

THE VILLAGE AT SHEPLEY HILL
RECORD CONDITIONS PLAN
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES

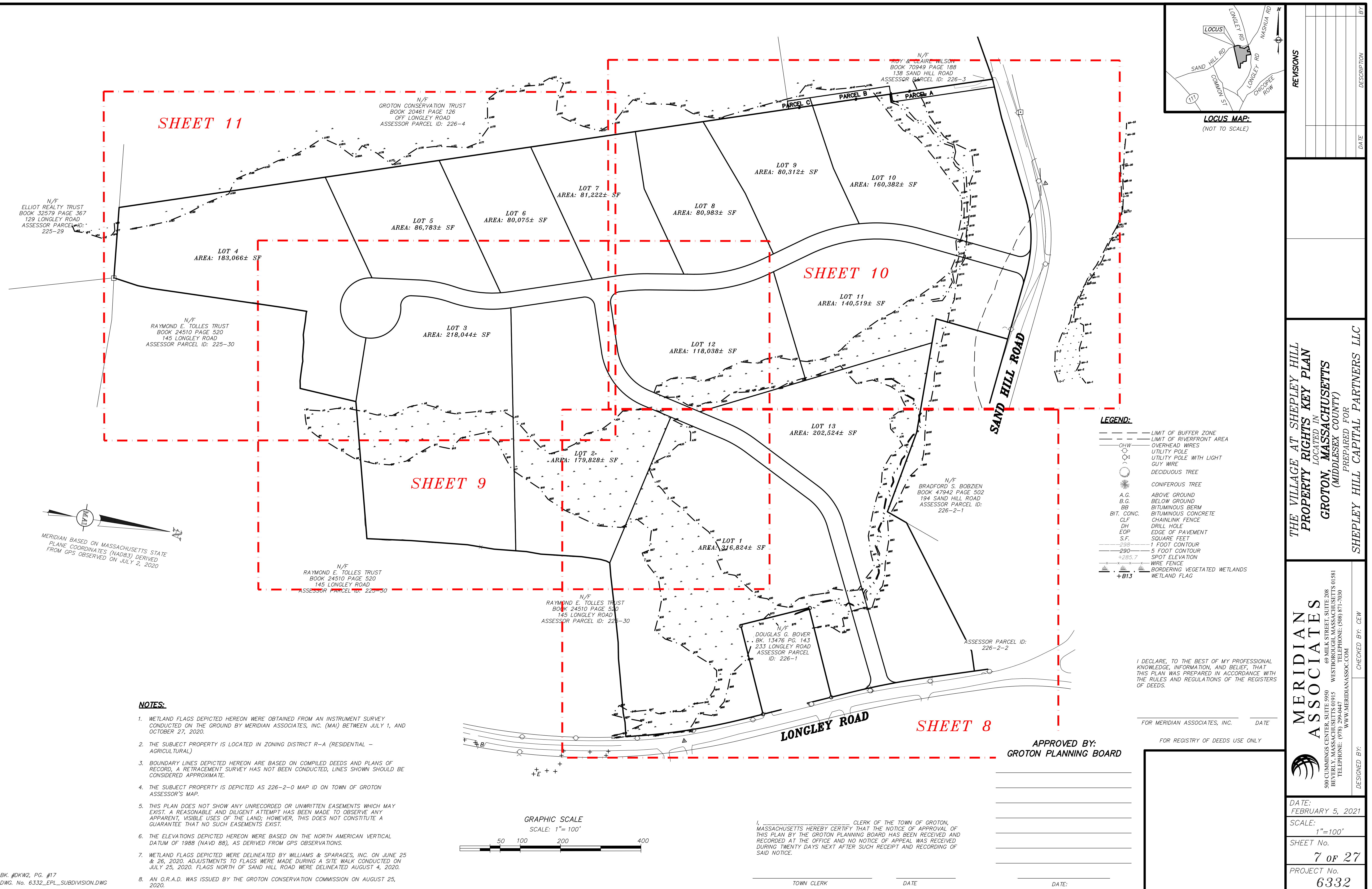
500 CUMMINGS CENTER, SUITE 2950
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447

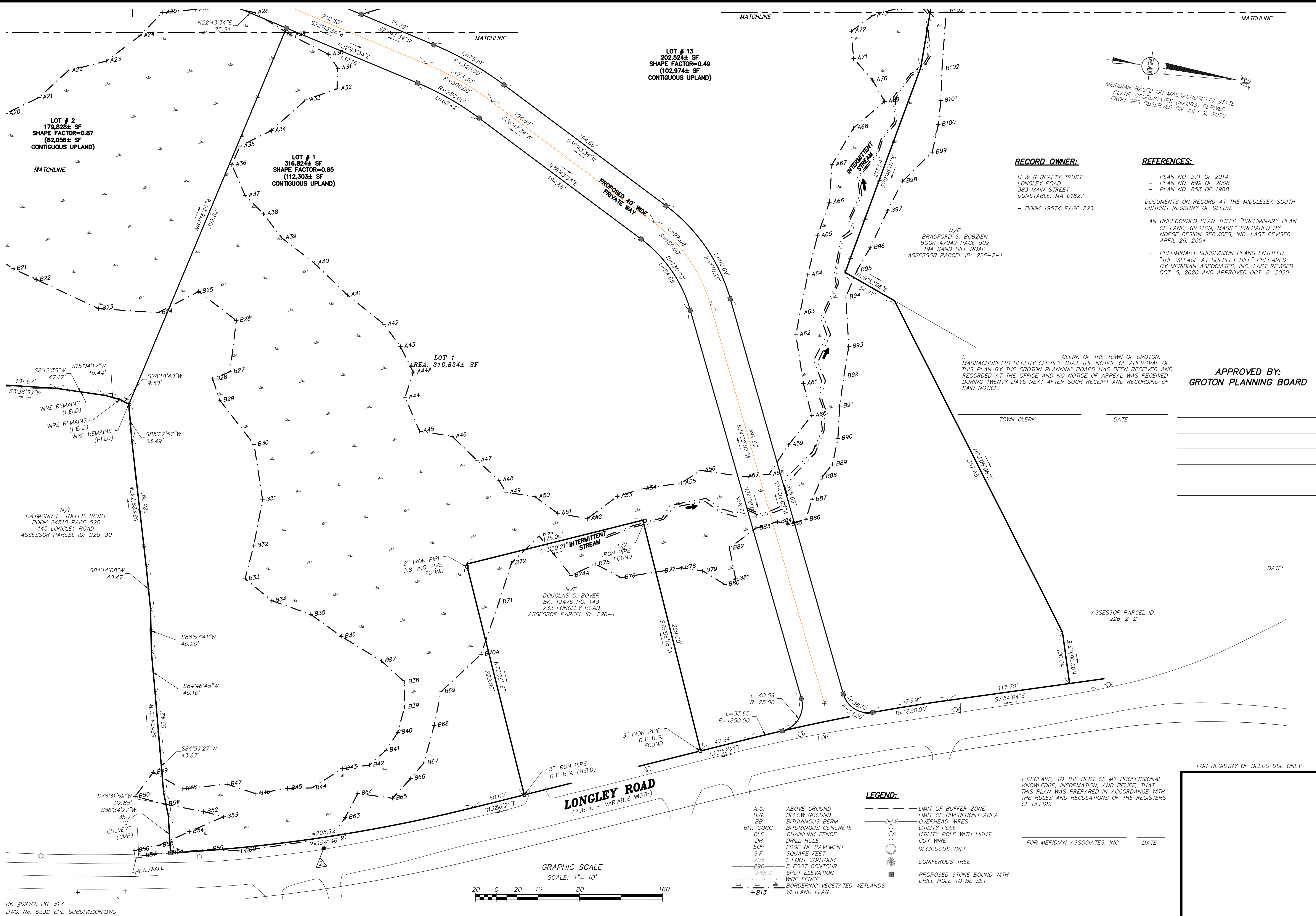
69 MILK STREET, SUITE 208
WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (508) 871-7030

WWW.MERIDIANASSOC.COM

DESIGNED BY: CEW

DATE: FEBRUARY 5, 2021
SCALE: 1"=40'
SHEET No. 6 OF 27
PROJECT No. 6332





REVISIONS

NO.	DATE	DESCRIPTION	BY

THE VILLAGE AT SHEPLEY HILL
PROPERTY RIGHTS PLAN
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES

500 CLIMBING CENTER SUITE 500
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM

DATE: FEBRUARY 5, 2021

SCALE: 1"=40'

SHEET No. 8 OF 27

PROJECT No. 6332

DESIGNED BY: CEW
CHECKED BY: CEW

RECORD OWNER:
H & G REALTY TRUST
LONGLEY ROAD
383 MAIN STREET
DUNSTABLE, MA 01827
— BOOK 19574 PAGE 223

REFERENCES:
— PLAN NO. 571 OF 2014
— PLAN NO. 899 OF 2006
— PLAN NO. 853 OF 1988
DOCUMENTS ON RECORD AT THE MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.
AN UNRECORDED PLAN TITLED "PRELIMINARY PLAN OF LAND, GROTON, MASS." PREPARED BY NORSE DESIGN SERVICES, INC. LAST REVISED APRIL 26, 2004
— PRELIMINARY SUBDIVISION PLANS ENTITLED "THE VILLAGE AT SHEPLEY HILL" PREPARED BY MERIDIAN ASSOCIATES, INC. LAST REVISED OCT. 5, 2020 AND APPROVED OCT. 8, 2020

APPROVED BY:
GROTON PLANNING BOARD

TOWN CLERK
DATE

DATE:

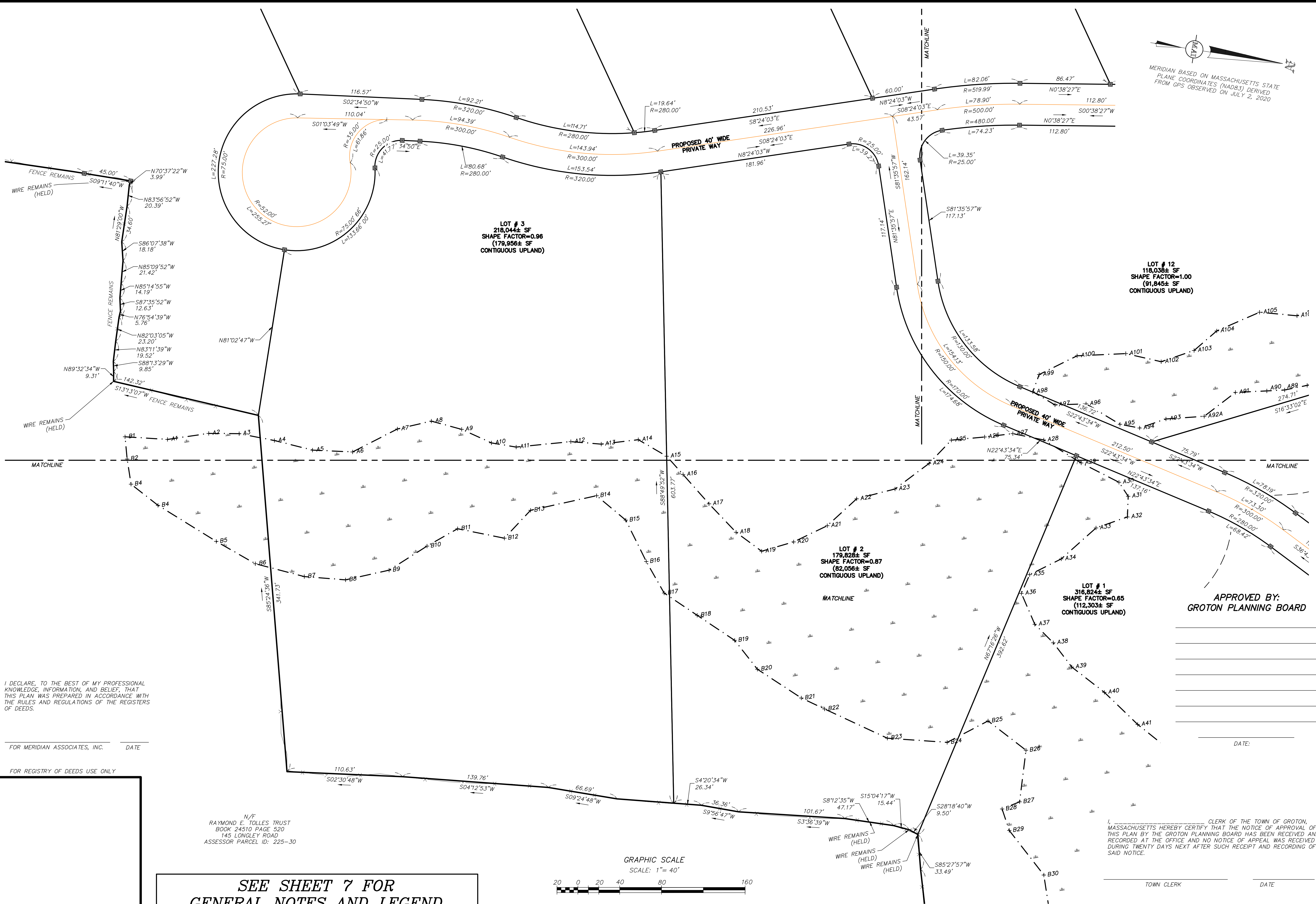
LEGEND:
A.G. ABOVE GROUND
B.G. BELOW GROUND
BB. BITUMINOUS BERM
BIT. CONC. BITUMINOUS CONCRETE
CLF. CHAINLINK FENCE
DH. DRILL HOLE
EOP. EDGE OF PAVEMENT
S.F. SQUARE FEET
—298— 1 FOOT CONTOUR
—290— 5 FOOT CONTOUR
+285.7 SPOT ELEVATION
WIRE FENCE
+B13 BORDERING VEGETATED WETLANDS
WETLAND FLAG

— LIMIT OF BUFFER ZONE
— LIMIT OF RIVERFRONT AREA
— OHW OVERHEAD WIRES
— UTILITY POLE
— UTILITY POLE WITH LIGHT
— GUY WIRE
— DECIDUOUS TREE
— CONIFEROUS TREE
— PROPOSED STONE BOUND WITH DRILL HOLE TO BE SET

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE

FOR REGISTRY OF DEEDS USE ONLY



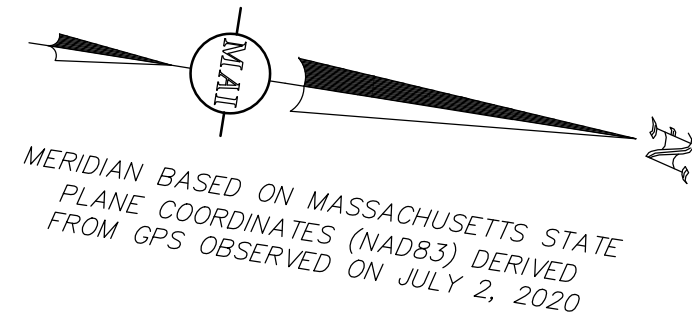
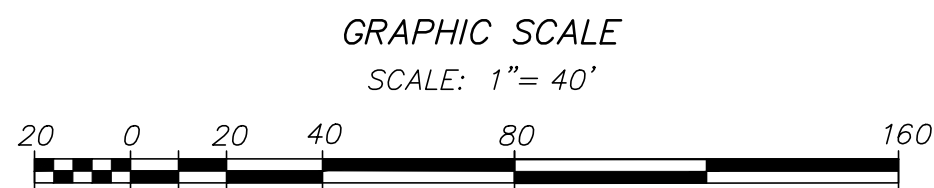
I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE

FOR REGISTRY OF DEEDS USE ONLY

N/A
RAYMOND E. TOLLES TRUST
BOOK 24510 PAGE 520
145 LONGLEY ROAD
ASSESSOR PARCEL ID: 225-30

SEE SHEET 7 FOR
GENERAL NOTES AND LEGEND



MERIDIAN BASED ON MASSACHUSETTS STATE PLANE COORDINATES (NAD83) DERIVED FROM GPS OBSERVED ON JULY 2, 2020

APPROVED BY:
GROTON PLANNING BOARD

DATE:

CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

DATE

THE VILLAGE AT SHEPLEY HILL
PROPERTY RIGHTS PLAN
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES



500 CLIMMINGS CENTER, SUITE 600
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM

CHECKED BY: CEW

DESIGNED BY:

DATE: FEBRUARY 5, 2021

SCALE: 1"=40'

SHEET No.

9 OF 27

PROJECT No.

6332

BK. #DKW2, PG. #17
DWG. No. 6332_EPL_SUBDIVISION.DWG

Copyright © by Meridian Associates, Inc. All rights reserved.

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

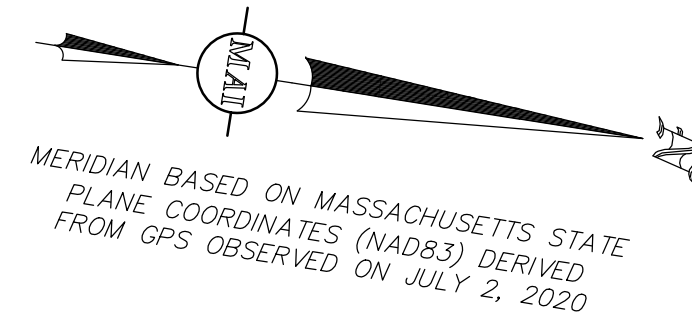
FOR MERIDIAN ASSOCIATES, INC. DATE

FOR REGISTRY OF DEEDS USE ONLY

N/F
ROY & CLAIRE WILSON
BOOK 70949 PAGE 188
138 SAND HILL ROAD
ASSESSOR PARCEL ID: 226-3

NOTES:

1. PARCEL A TO BE COMBINED WITH ROY & CLAIRE WILSON PROPERTY (138 SAND HILL ROAD).
2. PARCEL B TO BE PART OF LOT 11..
3. THE PARCEL C TO BE PART OF LOT 10.



MERIDIAN BASED ON MASSACHUSETTS STATE PLANE COORDINATES (NAD83) DERIVED FROM GPS OBSERVED ON JULY 2, 2020

LOT # 8
80,983± SF
SHAPE FACTOR=0.98

LOT # 9
80,312± SF
SHAPE FACTOR=0.85

LOT # 10
160,382± SF
SHAPE FACTOR=0.89
(80,384± SF OF
CONTIGUOUS UPLAND)

LOT # 11
140,518± SF
SHAPE FACTOR=0.81
(81,033± SF
CONTIGUOUS UPLAND)

LOT # 12
118,036± SF
SHAPE FACTOR=1.00
(91,845± SF
CONTIGUOUS UPLAND)

GRAPHIC SCALE
SCALE: 1"= 40'



I, CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

DATE

DATE:

SEE SHEET 7 FOR
GENERAL NOTES AND LEGEND

APPROVED BY:
GROTON PLANNING BOARD

REVISIONS

NO.	DATE	DESCRIPTION	BY

THE VILLAGE AT SHEPLEY HILL
PROPERTY RIGHTS PLAN
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN
ASSOCIATES



500 CLIMBING CENTER SUITE 500
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOCIATES.COM

CHECKED BY: CEW

DESIGNED BY:

DATE: FEBRUARY 5, 2021
SCALE: 1"=40'
SHEET No. 10 OF 27
PROJECT No. 6332

BK. #DKW2, PG. #17
DWG. No. 6332_EPL_SUBDIVISION.DWG

Copyright © by Meridian Associates, Inc. All rights reserved.

[illegible]

TOWN CLERK _____ DATE _____

N/F
OT REALTY TRUST
32579 PAGE 367
9 LONGLEY ROAD
ESSOR PARCEL ID:
225-29

N/F
RAYMOND E. TOLLES TRUST
BOOK 24510 PAGE 520
145 LONGLEY ROAD
ASSESSOR PARCEL ID: 225-30

FOR REGISTRY OF DEEDS USE ONLY

FOR MERIDIAN ASSOCIATES, INC. DATE

N/F
GROTON CONSERVATION TRUST
BOOK 20461 PAGE 126
OFF LONGLEY ROAD
ASSESSOR PARCEL ID: 226-4

LOT # 6
80,075± SF
SHAPE FACTOR=0.91

**PROPOSED 40' WIDE
PRIVATE WAY**

GRAPHIC SCALE
SCALE: 1" = 40'

6332

התאריך: 20/01/2024

Copyright © by Meridian Associates, Inc. All rights reserved.



DATE:	FEBRUARY 5, 2021
SCALE:	1"=100'
SHEET No.	12 OF 27
PROJECT No.	6332



GENERAL:

BOVE GROUND
CLOW GROUND
TUMINOUS BERM
TUMINOUS CONCRETE
HAINLINK FENCE
BRILL HOLE
EDGE OF PAVEMENT
QUARE FEET
FOOT CONTOUR
FOOT CONTOUR
POET ELEVATION
RE FENCE
ORDERING VEGETATED WETLANDS
ETLAND FLAG
MIT OF BUFFER ZONE
MIT OF RIVERFRONT AREA
VERHEAD WIRES
ILITY POLE
ILITY POLE WITH LIGHT
Y WIRE
CIDUOUS TREE
NIFEROUS TREE
ROPOSED CONTOUR
ROPOSED SPOT ELEVATION
ROPOSED FENCE
ROPOSED BITUMINOUS BERM
ROPOSED SLOPED GRANITE CURB
ROPOSED RETAINING WALL
ROPOSED EROSION CONTROL SOCK
ROPOSED TREELINE
ROPOSED DRAIN LINE
ROPOSED GRADE DIRECTION
ROPOSED CATCHBASIN
ROPOSED DOUBLE CATCHBASIN
ROPOSED DRAIN MANHOLE
ROPOSED NYLOPLAST DRAIN
ROPOSED DRAIN MANHOLE
ROPOSED STORMCEPTOR UNIT
ROPOSED OUTLET CONTROL STRUCTURE
ROPOSED FLARED END
ROPOSED SEWER LINE
ROPOSED FORCEMAIN
ROPOSED SEWER MANHOLE
ROPOSED TELEPHONE-ELECTRIC-CABLE
ROPOSED ELECTRIC CONDUIT
ROPOSED ELECTRIC TRANSFORMER
ROPOSED LIGHT
ROPOSED WATER LINE
ROPOSED HYDRANT
ROPOSED WATER GATE
ROPOSED WATER SERVICE
RAP AREA
ROPOSED MONUMENT TO BE PLACED
VERT ELEVATIONS
OTTOM OF CURB
OTTOM OF WALL
ESIGNED BY OTHERS
ROPOSED GENERATOR
ROPOSED HANDICAP RAMP
ROPOSED PIPE LENGTH
ROPOSED BITUMINOUS BERM
ROPOSED EDGE OF PAVEMENT
ROPOSED GRANITE CURB
M ELEVATION
ROPOSED PIPE SLOPE
OP OF CURB
OP OF WALL
ROPOSED ROOF DRAIN LINE
ROPOSED 1000 GALLON PROPANE TANK
ROPOSED 1500 GALLON SEPTIC TANK

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE _____

FOR REGISTRY OF DEEDS USE ONLY

CHECKED BY: CEW

DESIGNED BY:



DATE:
FEBRUARY 5, 2021

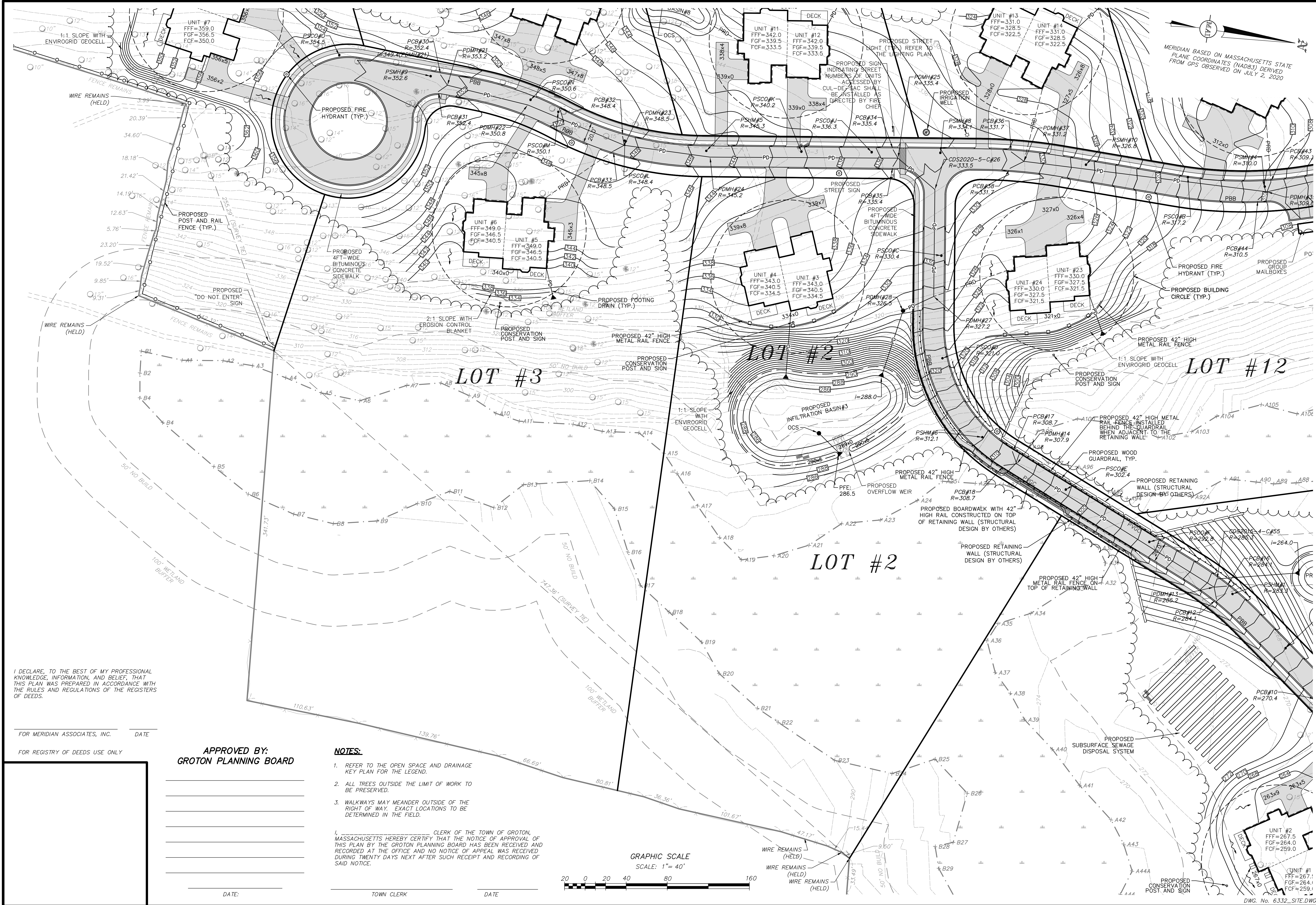
SCALE:
1" = 100'

SHEET No.

12 OF 27

PROJECT No.
6.3.32

Copyright © by Meridian Associates, Inc. All rights reserved.



I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE: _____
FOR REGISTRY OF DEEDS USE ONLY

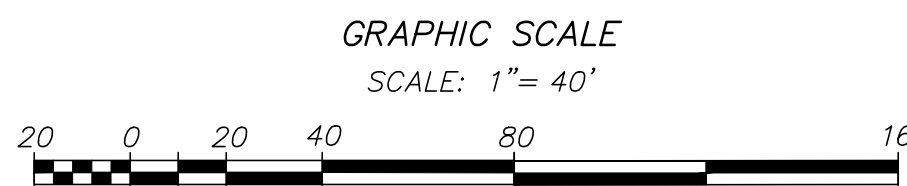
APPROVED BY:
GROTON PLANNING BOARD

DATE: _____ TOWN CLERK _____ DATE: _____

NOTES:

1. REFER TO THE OPEN SPACE AND DRAINAGE KEY PLAN FOR THE LEGEND.
2. ALL TREES OUTSIDE THE LIMIT OF WORK TO BE PRESERVED.
3. WALKWAYS MAY MEANDER OUTSIDE OF THE RIGHT OF WAY. EXACT LOCATIONS TO BE DETERMINED IN THE FIELD.

I, _____ CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.



REVISIONS

NO.	DATE	DESCRIPTION	BY

THE VILLAGE AT SHEPLEY HILL
GRADING/DRAINAGE PLAN
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES
500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM

DESIGNED BY: CEW
CHECKED BY: CEW

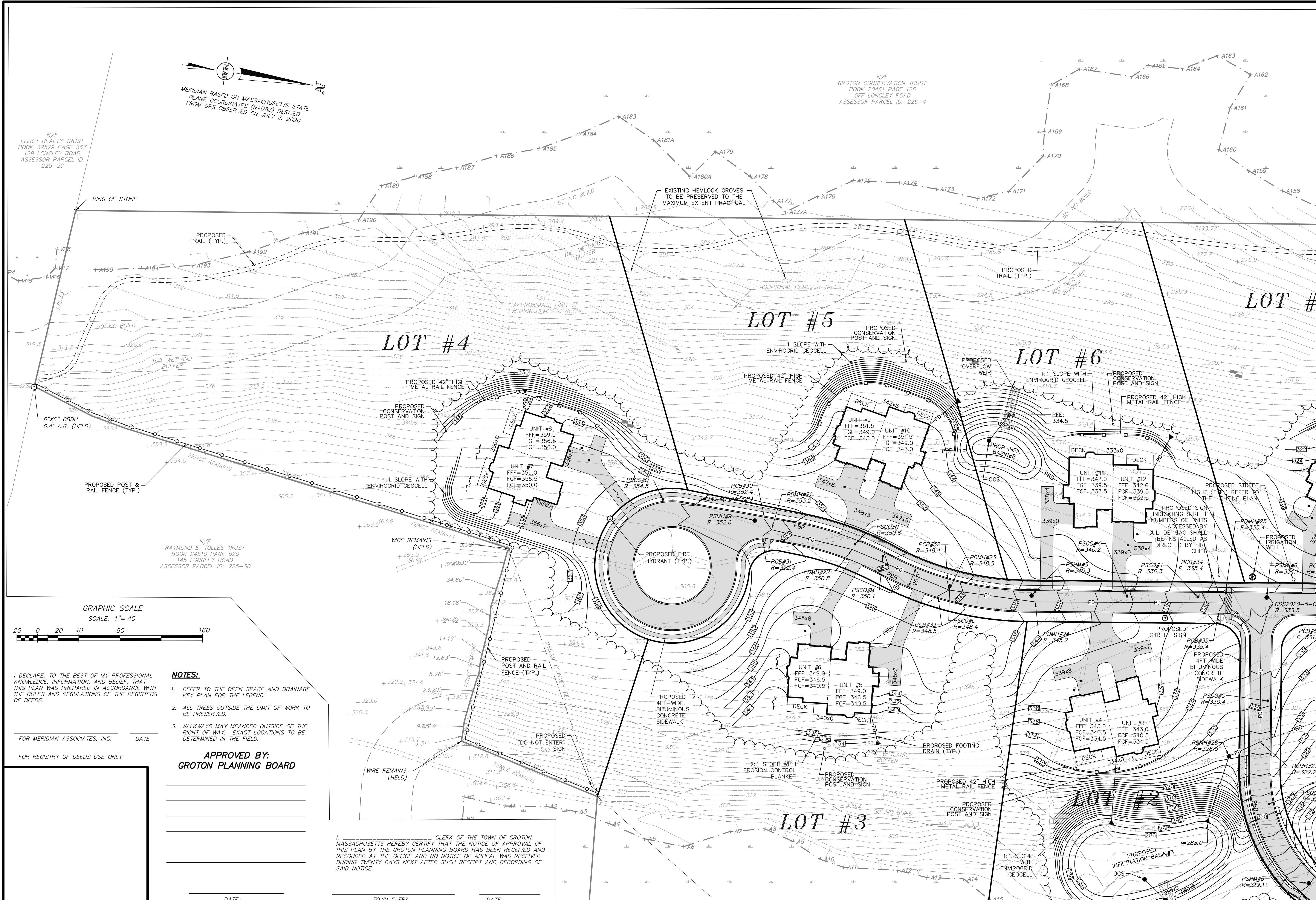
DATE:
FEBRUARY 5, 2021

SCALE:
1"=40'

SHEET No.
14 of 27

PROJECT No.
6332

DWG. No. 6.332_SITE.DWG
Copyright © by Meridian Associates, Inc. All rights reserved.



MERIDIAN BASED ON MASSACHUSETTS STATE
PLANE COORDINATES (NAD83) DERIVED
FROM GPS OBSERVED ON JULY 2, 2020

N/F
ELLIOT REALTY TRUST
BOOK 32579 PAGE 367
129 LONGLEY ROAD
ASSESSOR PARCEL ID:
225-29

N/F
RAYMOND E. TOLLE'S TRUST
BOOK 24510 PAGE 520
145 LONGLEY ROAD
ASSESSOR PARCEL ID: 225-30

GRAPHIC SCALE
SCALE: 1"= 40'

I DECLARE, TO THE BEST OF MY PROFESSIONAL
KNOWLEDGE, INFORMATION, AND BELIEF, THAT
THIS PLAN WAS PREPARED IN ACCORDANCE WITH
THE RULES AND REGULATIONS OF THE REGISTERS
OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE
FOR REGISTRY OF DEEDS USE ONLY

- NOTES:**
1. REFER TO THE OPEN SPACE AND DRAINAGE
KEY PLAN FOR THE LEGEND.
 2. ALL TREES OUTSIDE THE LIMIT OF WORK TO BE
PRESERVED.
 3. WALKWAYS MAY MEANDER OUTSIDE OF THE
RIGHT OF WAY. EXACT LOCATIONS TO BE
DETERMINED IN THE FIELD.

**APPROVED BY:
GROTON PLANNING BOARD**

I, _____ CLERK OF THE TOWN OF GROTON,
MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF
THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND
RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED
DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF
SAID NOTICE.

DATE: TOWN CLERK DATE

REVISIONS

NO.	DATE	DESCRIPTION	BY

THE VILLAGE AT SHEPLEY HILL
GRADING/DRAINAGE PLAN
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN
ASSOCIATES

500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-4447
WWW.MERIDIANASSOC.COM

DESIGNED BY: CEW
CHECKED BY: CEW

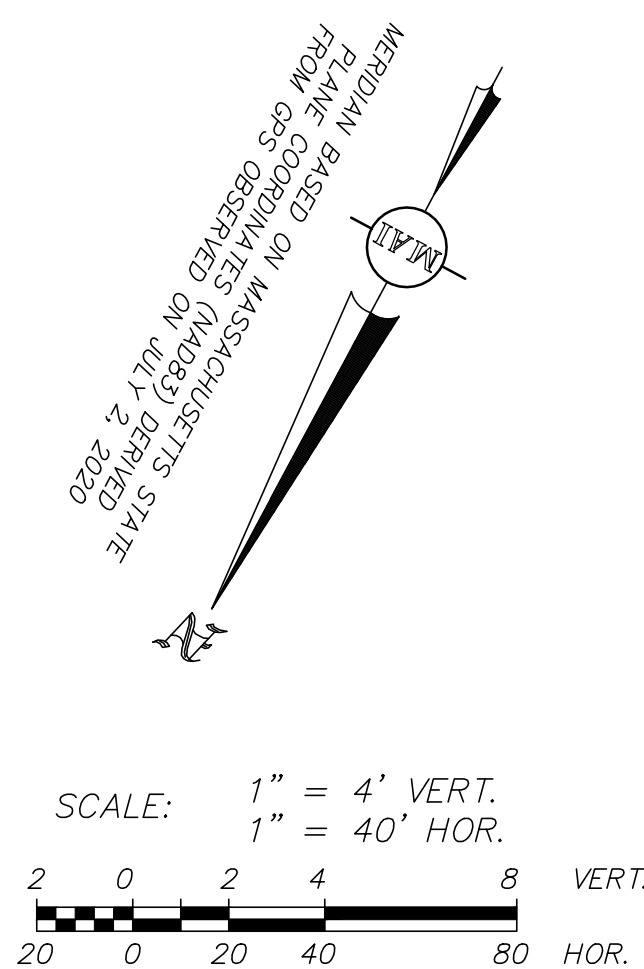
DATE:
FEBRUARY 5, 2021

SCALE:
1"=40'

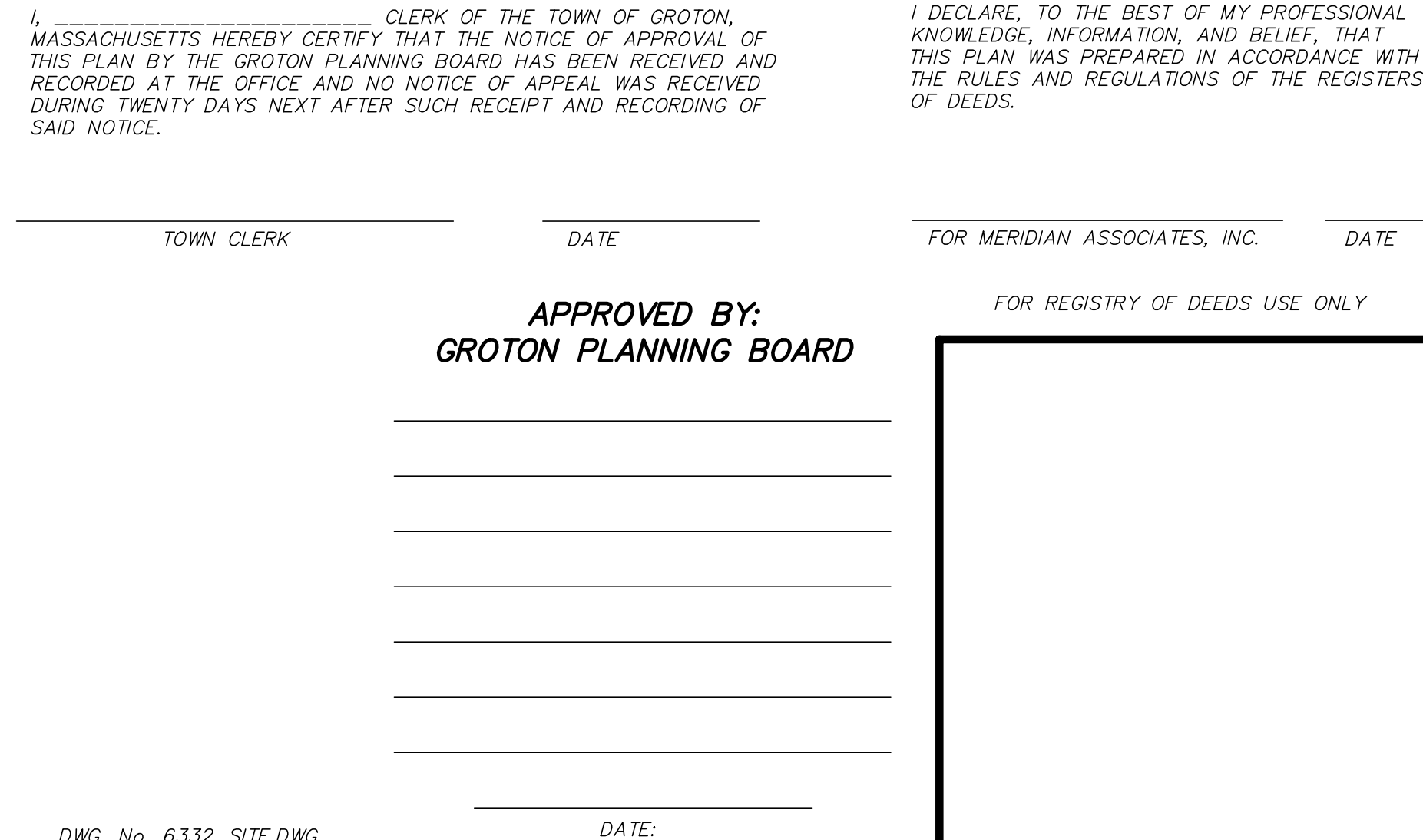
SHEET No.
16 of 27

PROJECT No.
6332

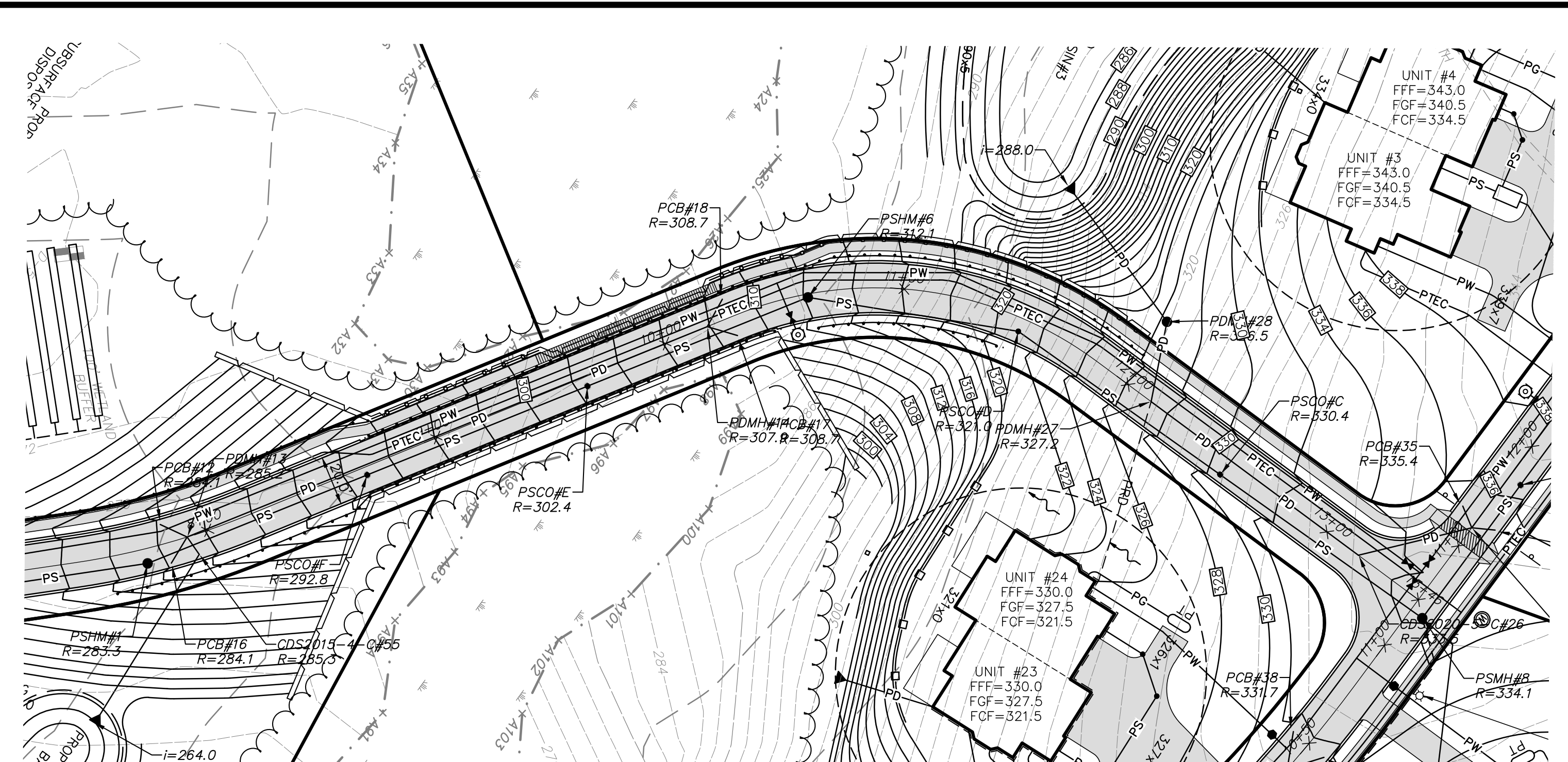
DWG. No. 6.332_SITE.DWG
Copyright © by Meridian Associates, Inc. All rights reserved.



- NOTES:**
1. EACH BUILDING WILL BE SERVED BY A 1000 GALLON UNDERGROUND PROPANE TANK. LOCATIONS ARE TO BE DETERMINED BY THE APPLICANT.
 2. EACH BUILDING WILL BE SERVED BY A FOOTING DRAIN TO DAYLIGHT TO THE SURFACE. OUTLET LOCATIONS ARE TO BE DETERMINED BY THE APPLICANT.
 3. CATCH BASIN RIMS TO BE SET AT BINDER PAVEMENT ELEVATION DURING CONSTRUCTION AND ADJUSTED TO FINAL ELEVATION WHEN FINAL PAVING IS INSTALLED.
 4. REFER TO THE OPEN SPACE AND DRAINAGE KEY PLAN FOR THE LEGEND.
 5. THE PROPOSED SUBSURFACE SEWAGE DISPOSAL SYSTEM AND THE SANITARY SEWER COLLECTION SYSTEM SHALL BE APPROVED BY THE GROTON BOARD OF HEALTH. REFER TO THE SUBSURFACE SEWAGE DISPOSAL SYSTEM PLANS FOR THE DESIGN OF THE SYSTEM.
 6. REFER TO THE WATER EXTENSION PLANS BY PROVENCHE ENGINEERING, LLC DATED NOVEMBER 11, 2020.



 MERIDIAN ASSOCIATES 500 CUMMINGS CENTRE, SUITE 5950 BOSTON, MASSACHUSETTS 02115 TELEPHONE: (617) 299-0447 WEST: (617) 299-0415 WWW.MERIDIANSOC.COM	DESIGNED BY: CEW		THE VILLAGE AT SHEPLEY HILL ROAD B - PLAN & PROFILE LOCATED IN GROTON, MASSACHUSETTS (MIDDLESEX COUNTY) PREPARED FOR SHEPLEY HILL CAPITAL PARTNERS LLC	REVISIONS
	CHECKED BY: CEW			
	DATE: FEBRUARY 5, 2021			
	SCALE: 1"=40'			
	SHEET No. 17 OF 27			
PROJECT No. 6332				DATE DESCRIPTION BY



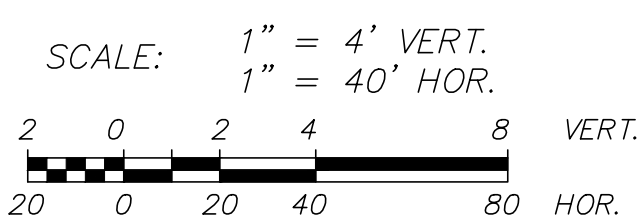
- NOTES:**
1. EACH BUILDING WILL BE SERVED BY A 1000 GALLON UNDERGROUND PROPANE TANK. LOCATIONS ARE TO BE DETERMINED BY THE APPLICANT.
 2. EACH BUILDING WILL BE SERVED BY A FOOTING DRAIN TO DAYLIGHT TO THE SURFACE. OUTLET LOCATIONS ARE TO BE DETERMINED BY THE APPLICANT.
 3. CATCH BASIN RIMS TO BE SET AT BINDER PAVEMENT ELEVATION DURING CONSTRUCTION AND ADJUSTED TO FINAL ELEVATION WHEN FINAL PAVING IS INSTALLED.
 4. REFER TO THE OPEN SPACE AND DRAINAGE KEY PLAN FOR THE LEGEND.
 5. THE PROPOSED SUBSURFACE SEWAGE DISPOSAL SYSTEM AND THE SANITARY SEWER COLLECTION SYSTEM SHALL BE APPROVED BY THE GROTON BOARD OF HEALTH. REFER TO THE SUBSURFACE SEWAGE DISPOSAL SYSTEM PLANS FOR THE DESIGN OF THE SYSTEM.
 6. REFER TO THE WATER EXTENSION PLANS BY PROVENCHE ENGINEERING, LLC DATED NOVEMBER 11, 2020.

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE

FOR REGISTRY OF DEEDS USE ONLY

APPROVED BY:
GROTON PLANNING BOARD



I, _____ CLERK OF THE TOWN OF GROTON,
MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF
THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND
RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED
DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF
SAID NOTICE.

DWG. No. 6332_SITE.DWG

TOWN CLERK

DATE _____

DATE _____

REVISIONS	
DATE	DESCRIPTION
BY	

**THE VILLAGE AT SHEPLEY HILL
ROAD B - PLAN & PROFILE**
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

CHECKED BY: CEW

DESIGNED BY:



DATE:
FEBRUARY 5, 2021

SCALE:

$$1'' = 40'$$

SHEET No.

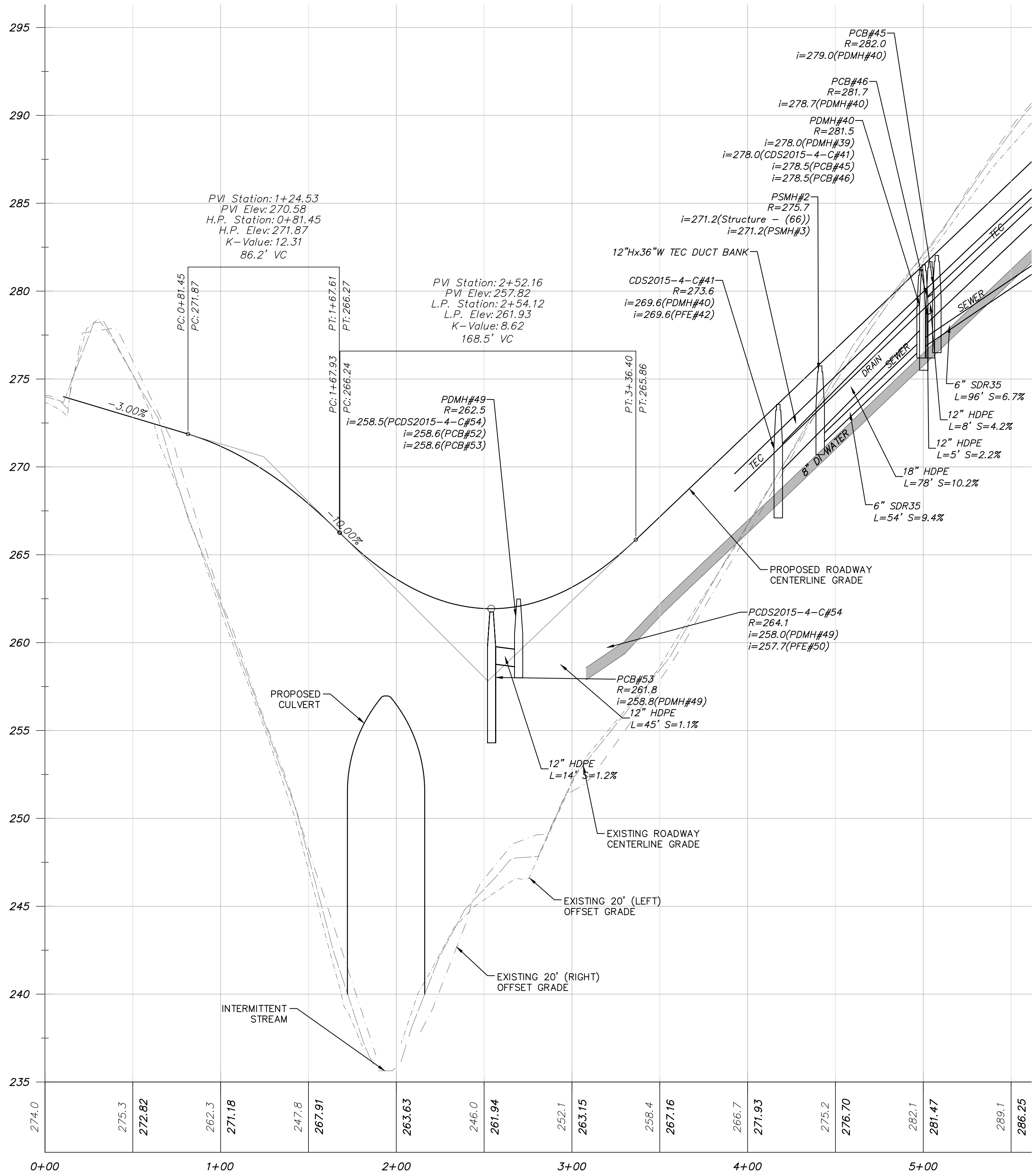
10 -- 27

18 OF 21

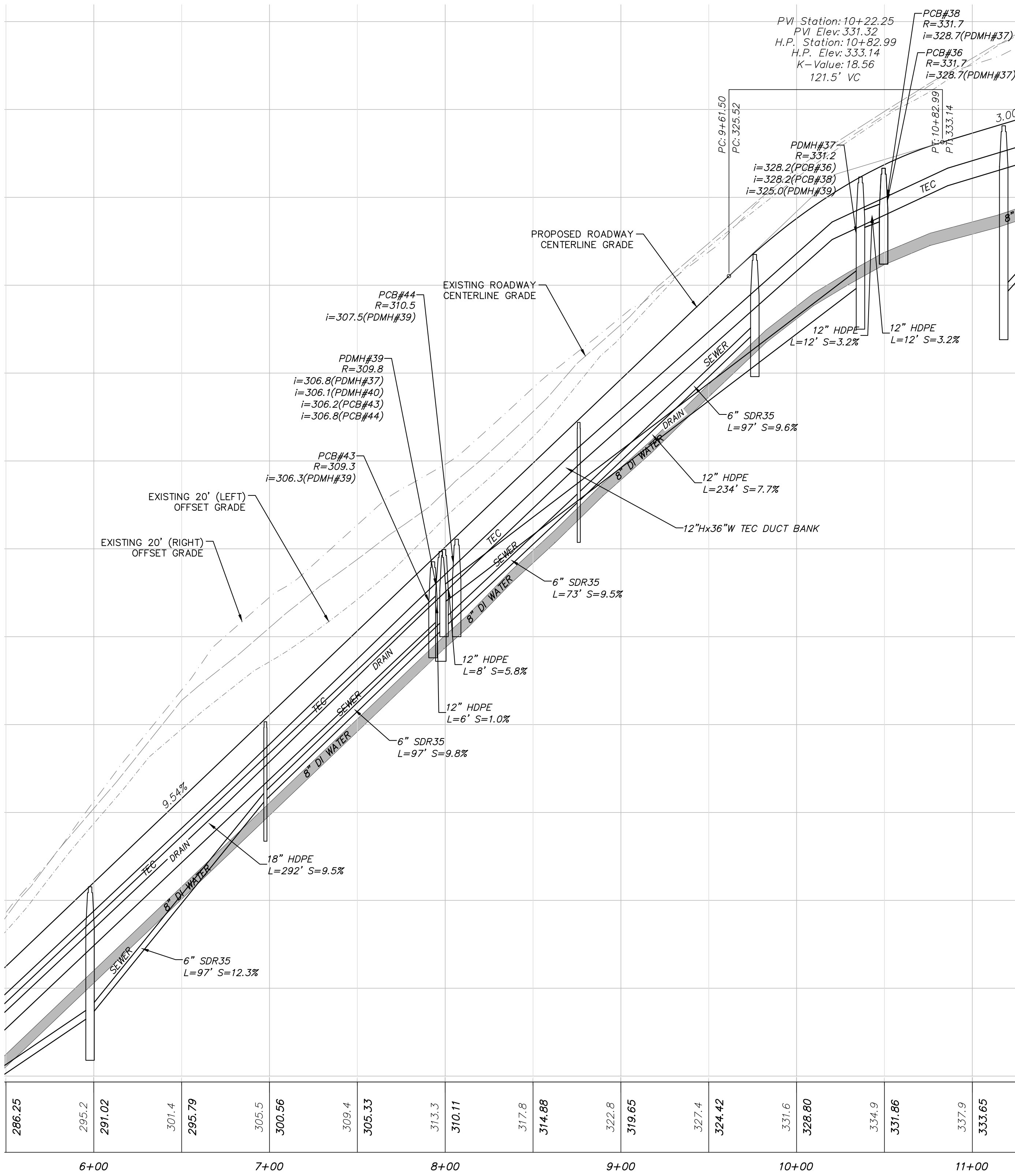
PROJECT No.

6.3.32

Meridian Associates, Inc. All rights reserved.



PROFILE VIEW - PART 1
STATION 0+00 TO 5+50



PROFILE VIEW - PART 2
STATION 5+50 TO 11+00

SCALE: 1" = 4' VERT.
1" = 40' HOR.

I, _____, CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

APPROVED BY:
GROTON PLANNING BOARD

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR REGISTRY OF DEEDS USE ONLY



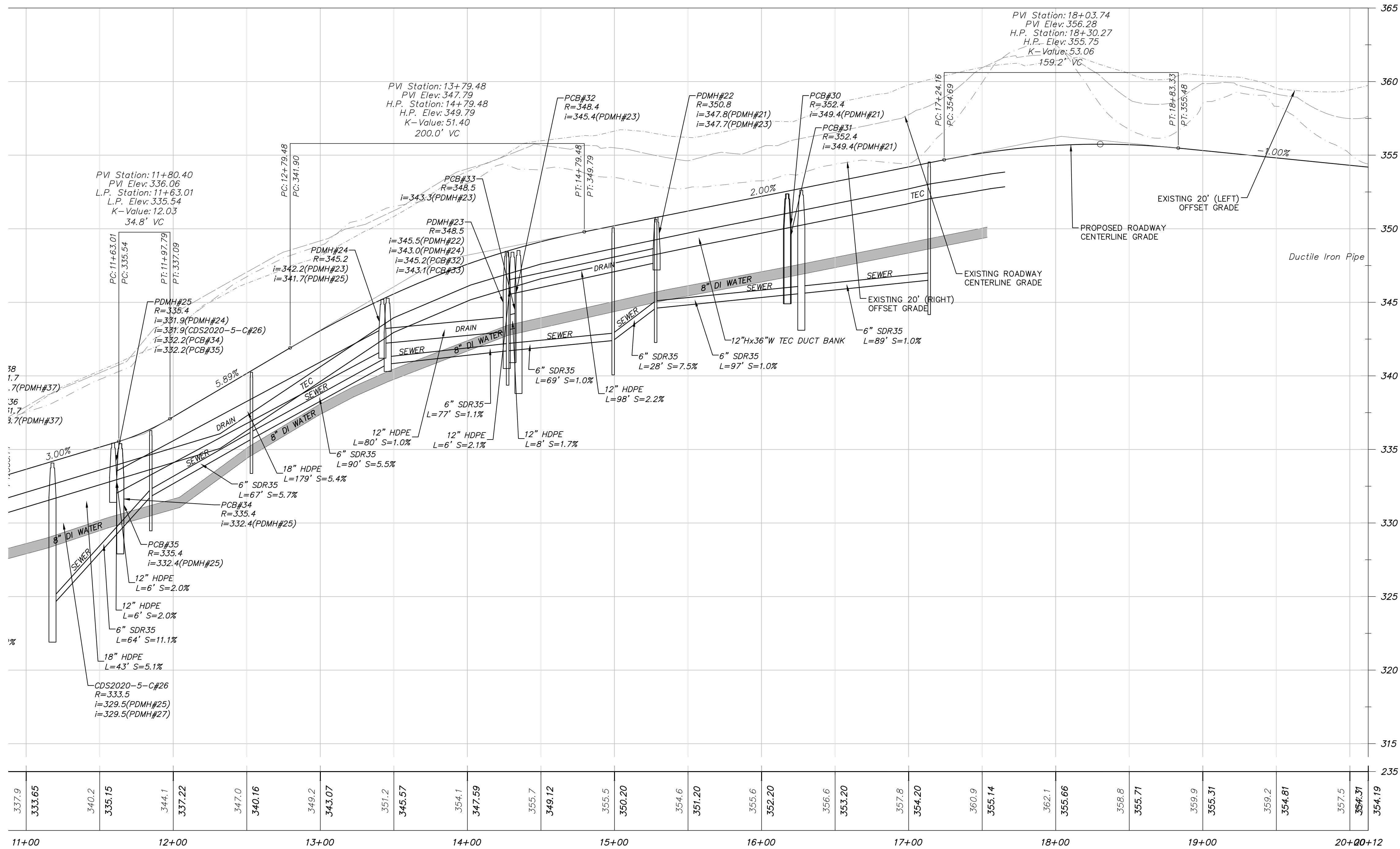
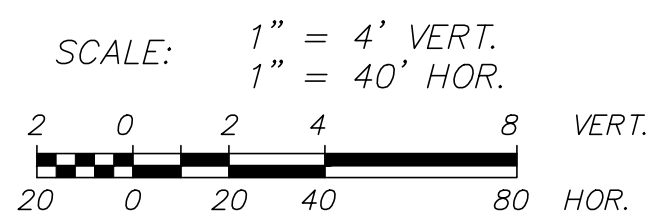
DATE:
FEBRUARY 5, 2021
SCALE:
1"=40'
SHEET No.
19 of 27
PROJECT No.
6332

THE VILLAGE AT SHEPLEY HILL
ROAD A - PLAN & PROFILE
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES
500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM

CHECKED BY: CEW

REVISIONS	DATE	DESCRIPTION



PROFILE VIEW - PART 3
STATION 11+00 TO 20+12

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE

FOR REGISTRY OF DEEDS USE ONLY

APPROVED BY:
GROTON PLANNING BOARD

I, _____ CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

DATE

DATE



MERIDIAN ASSOCIATES
500 CLIMMINGS CENTER, SUITE 600
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOCIATES.COM

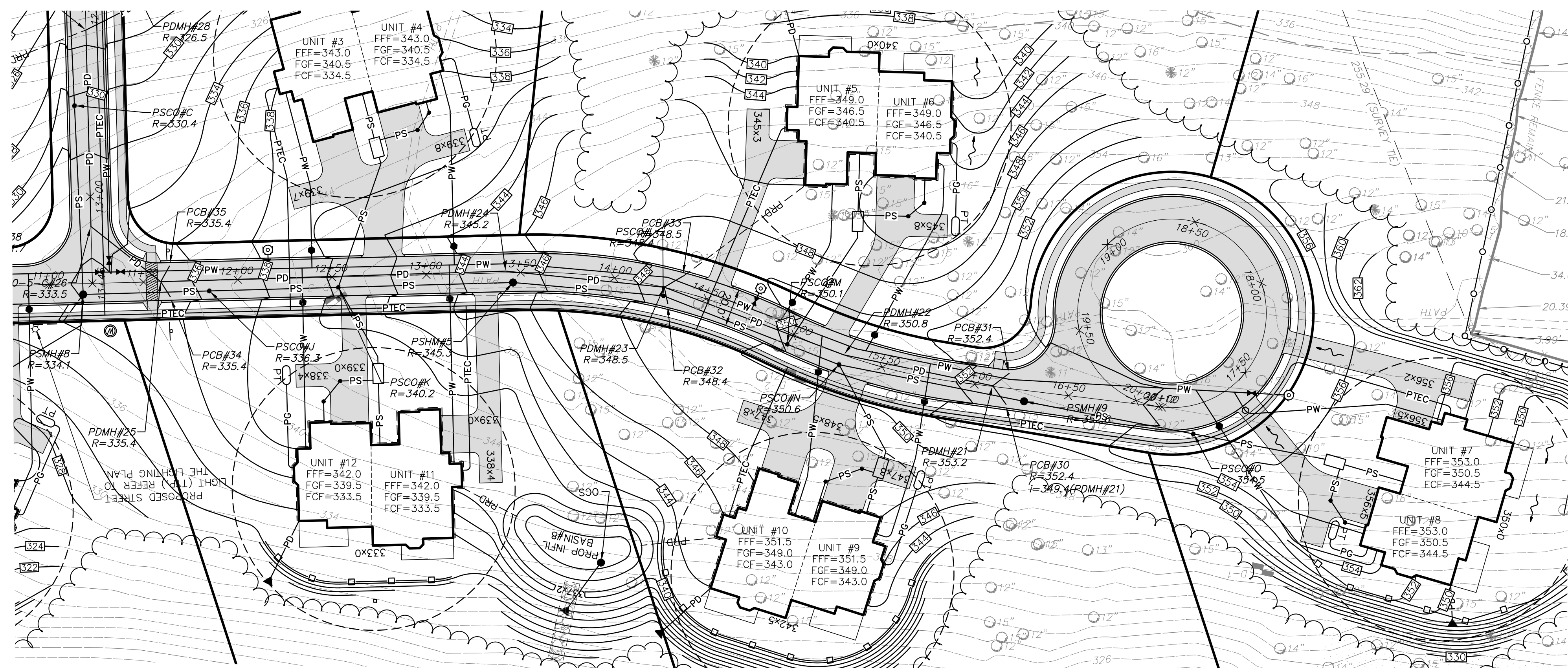
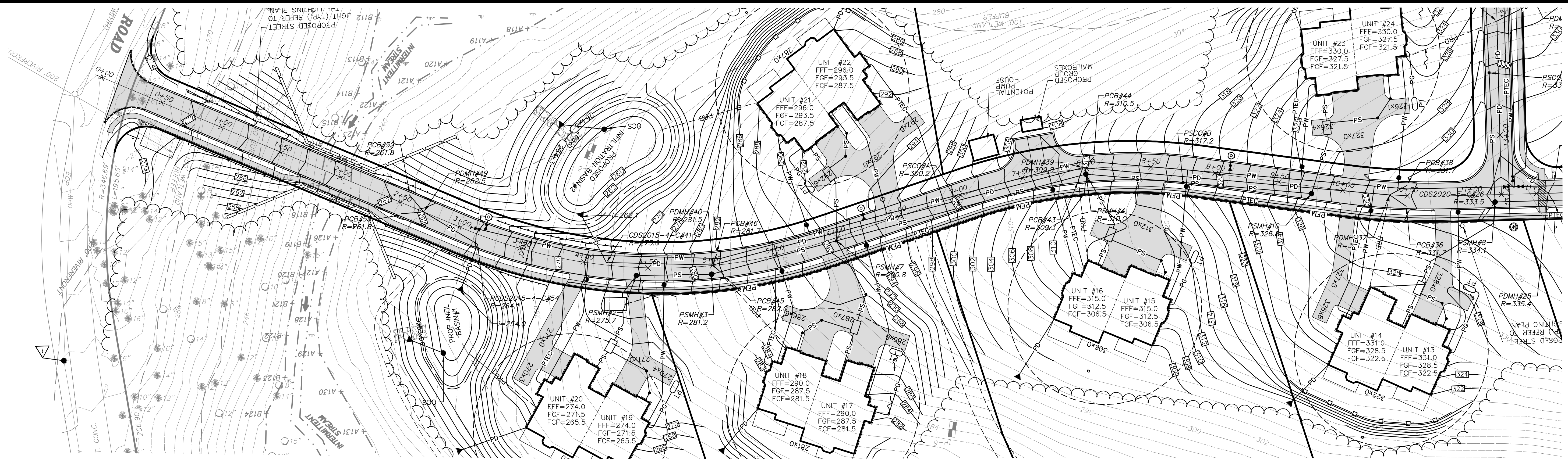
DESIGNED BY: CEW
CHECKED BY: CEW

DATE: FEBRUARY 5, 2021
SCALE: 1"=40'
SHEET No. 20 OF 27
PROJECT No. 6332

THE VILLAGE AT SHEPLEY HILL
ROAD A - PLAN & PROFILE
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

REVISIONS

DATE DESCRIPTION BY



NOTES:

1. EACH BUILDING WILL BE SERVED BY A 1000 GALLON UNDERGROUND PROPANE TANK. LOCATIONS ARE TO BE DETERMINED BY THE APPLICANT.
2. EACH BUILDING WILL BE SERVED BY A FOOTING DRAIN TO DAYLIGHT TO THE SURFACE. OUTLET LOCATIONS ARE TO BE DETERMINED BY THE APPLICANT.
3. CATCH BASIN RIMS TO BE SET AT BINDER PAVEMENT ELEVATION DURING CONSTRUCTION AND ADJUSTED TO FINAL ELEVATION WHEN FINAL PAVING IS INSTALLED.
4. REFER TO THE OPEN SPACE AND DRAINAGE KEY PLAN FOR THE LEGEND.
5. THE PROPOSED SUBSURFACE SEWAGE DISPOSAL SYSTEM AND THE SANITARY SEWER COLLECTION SYSTEM SHALL BE APPROVED BY THE GROTON BOARD OF HEALTH. REFER TO THE SUBSURFACE SEWAGE DISPOSAL SYSTEM PLANS FOR THE DESIGN OF THE SYSTEM.
6. REFER TO THE WATER EXTENSION PLANS BY PROVENCHER ENGINEERING, LLC DATED NOVEMBER 11, 2020.

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE

FOR REGISTRY OF DEEDS USE ONLY

*APPROVED BY:
GROTON PLANNING BOARD*

I, _____ CLERK OF THE TOWN OF GROTON,
MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF
THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND
RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED
DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF
SAID NOTICE.

DWG. No. 6332_SITE.DWG

TOWN CLERK

DATE _____

DATE: _____

REVIEWS		
DATE	DESCRIPTION	BY

***E VILLAGE AT SHEPLEY HILL
ROAD A – PLAN & PROFILE
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)***

PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN
ASSOCIATES

500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447

69 MILK STREET, SUITE 208
WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (508) 871-7030
WWW.MERIDIANASSOC.COM

DESIGNED BY:	CHECKED BY: CEW
--------------	-----------------



DATE: _____

FEBRUARY 5, 2021

SCALE:

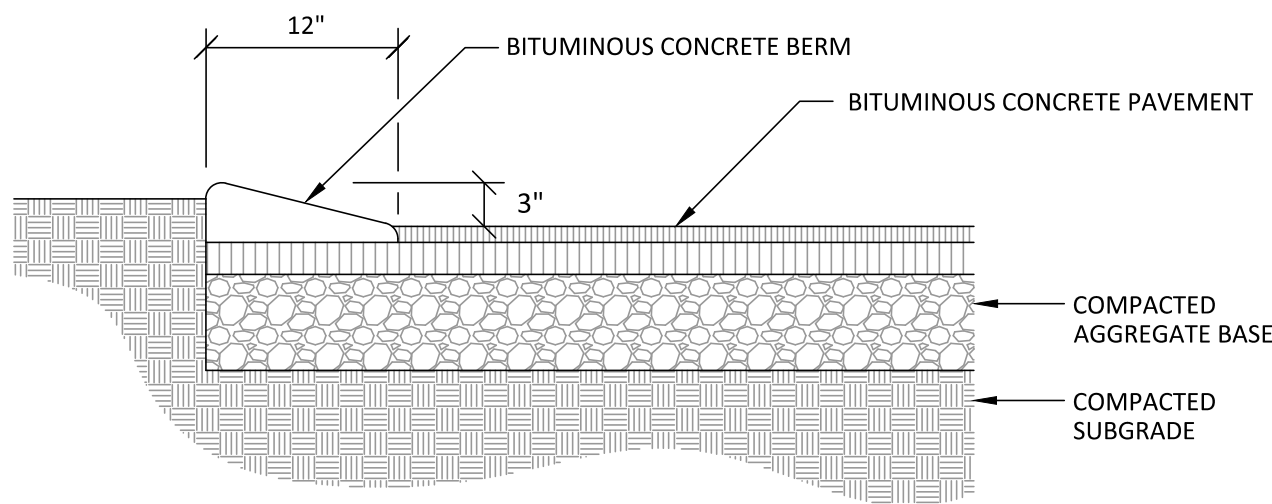
 $1'' = 40'$

SHEET No.

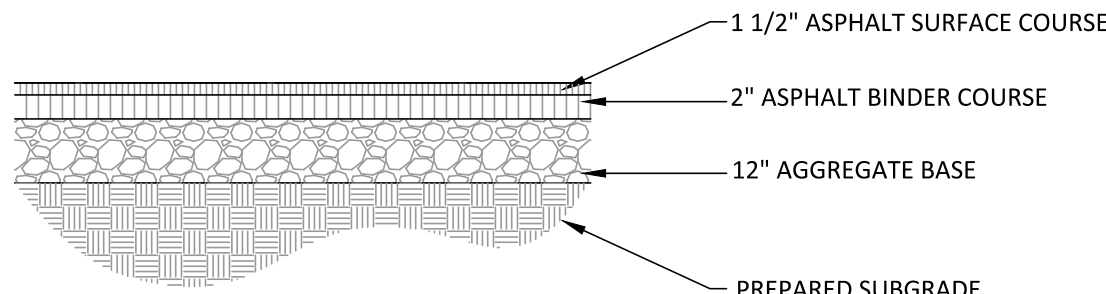
21 OF 27

PROJECT No.

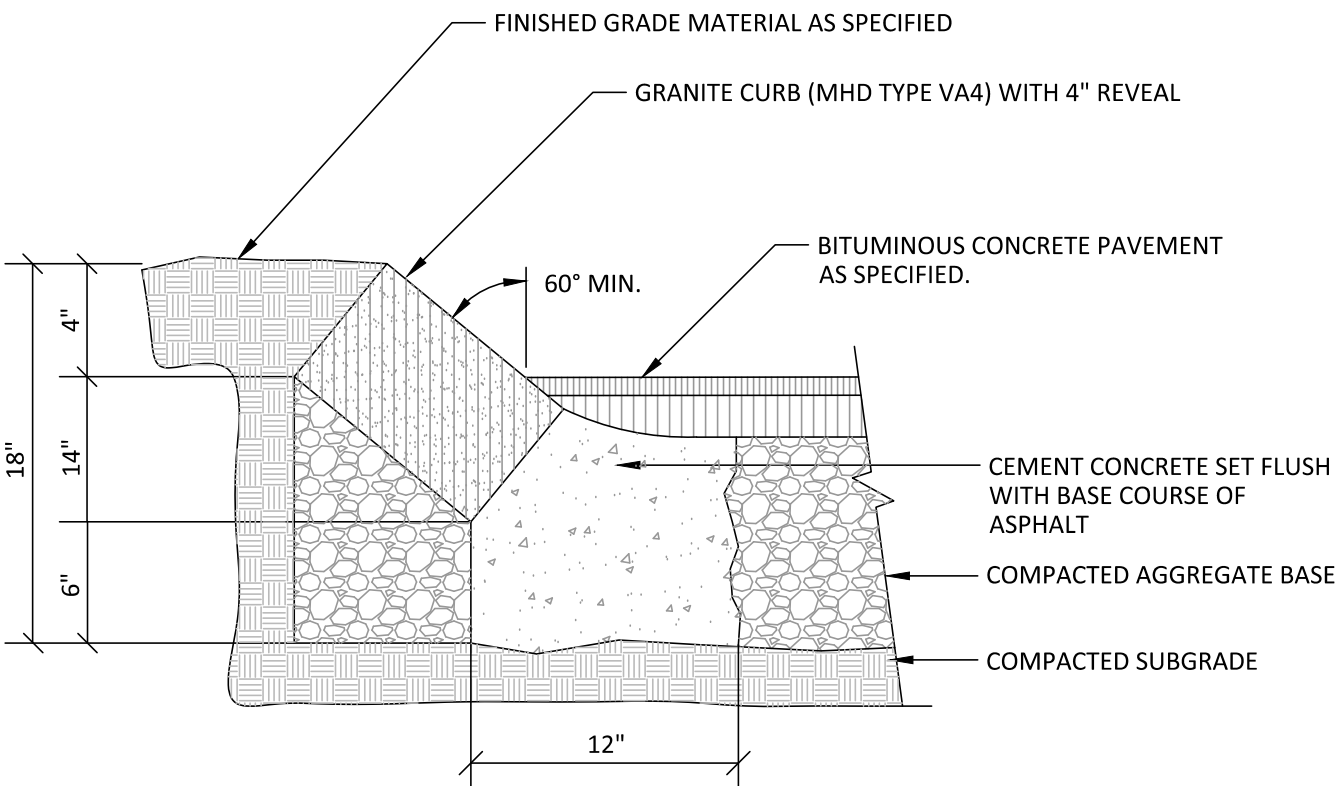
6332



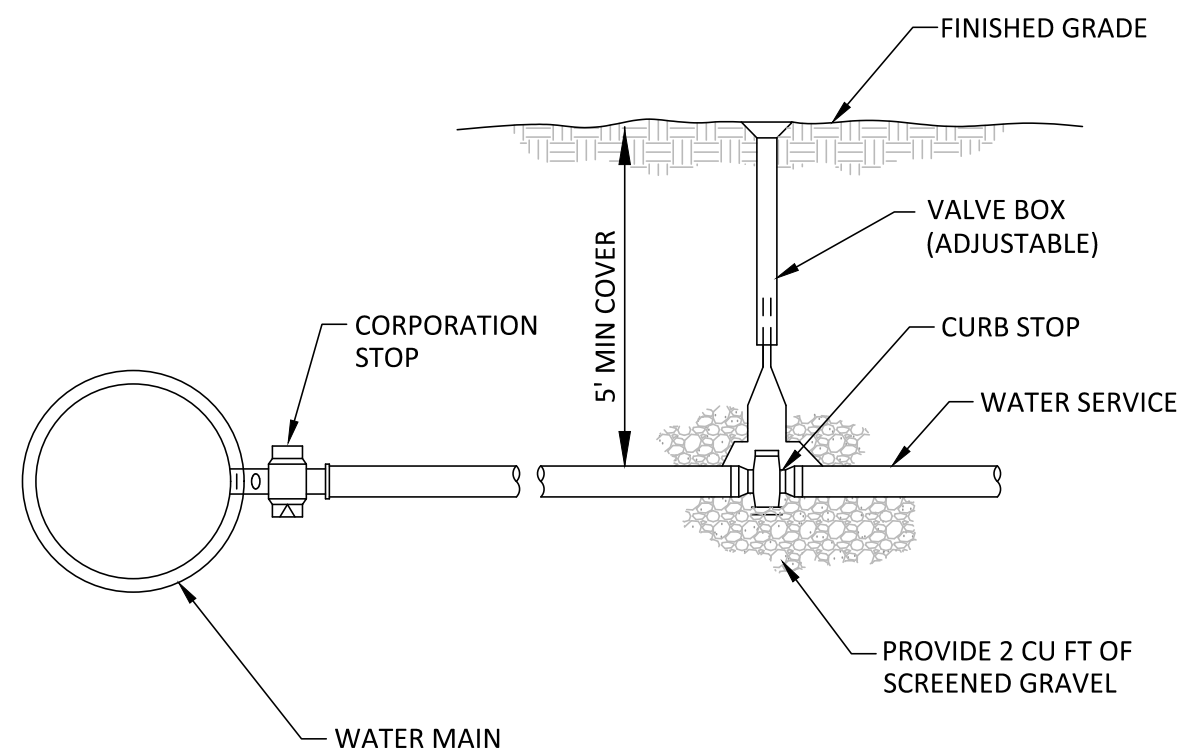
BITUMINOUS CONCRETE BERM
(NOT TO SCALE)



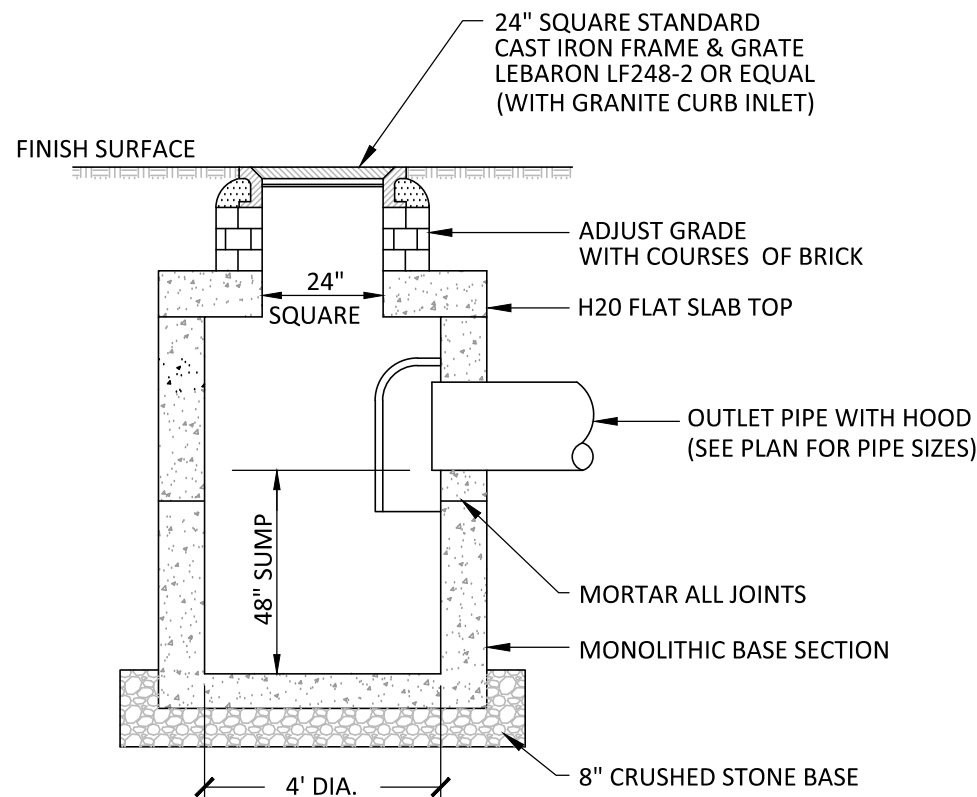
BITUMINOUS CONCRETE PAVEMENT SECTION
(NOT TO SCALE)



SLOPED GRANITE CURB
(NOT TO SCALE)

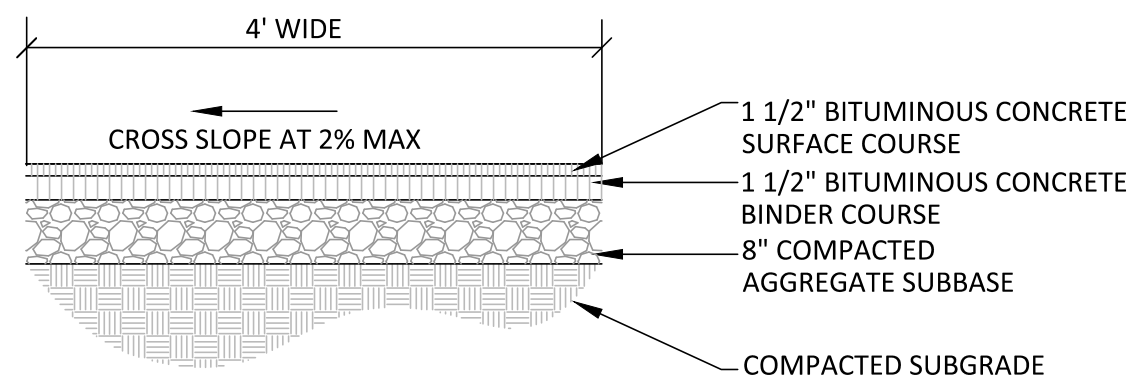


WATER SERVICE CONNECTION
(NOT TO SCALE)

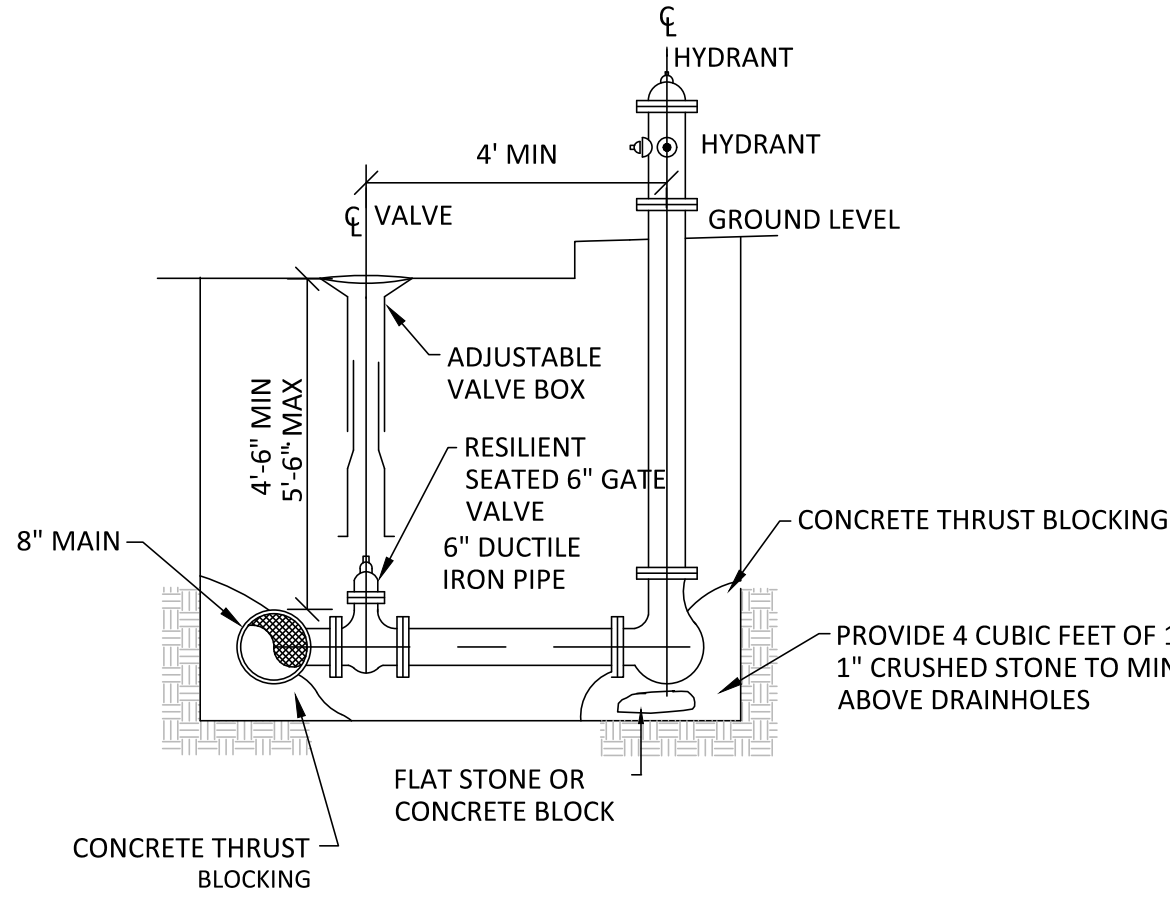


- NOTES:
1. STRUCTURE DESIGN TO LATEST ASTM C478.
 2. REINFORCING STEEL CONFORMS TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
 4. FLAT SLAB TOP AASHTO H-20 S. ONE POUR MONOLITHIC BASE.

PRECAST CONCRETE CATCH BASIN W/ TRAP
(NOT TO SCALE)

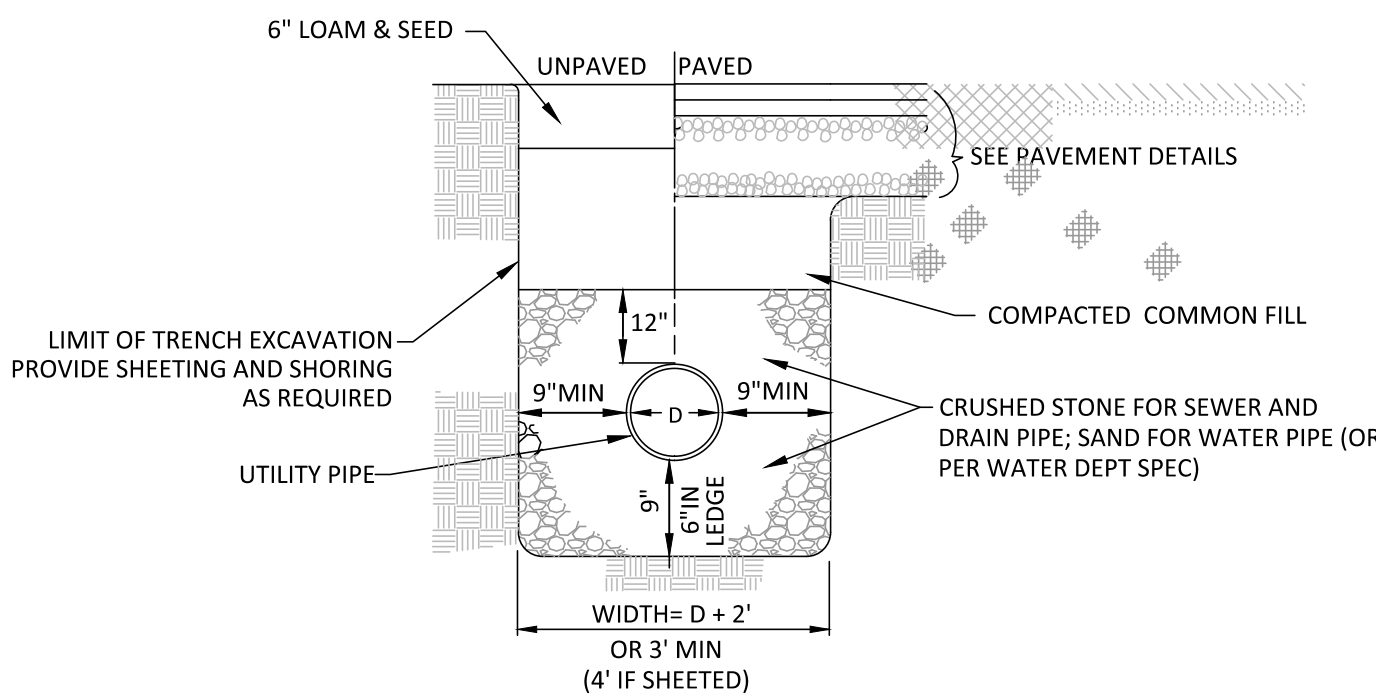


BITUMINOUS CONCRETE WALKWAY
(NOT TO SCALE)

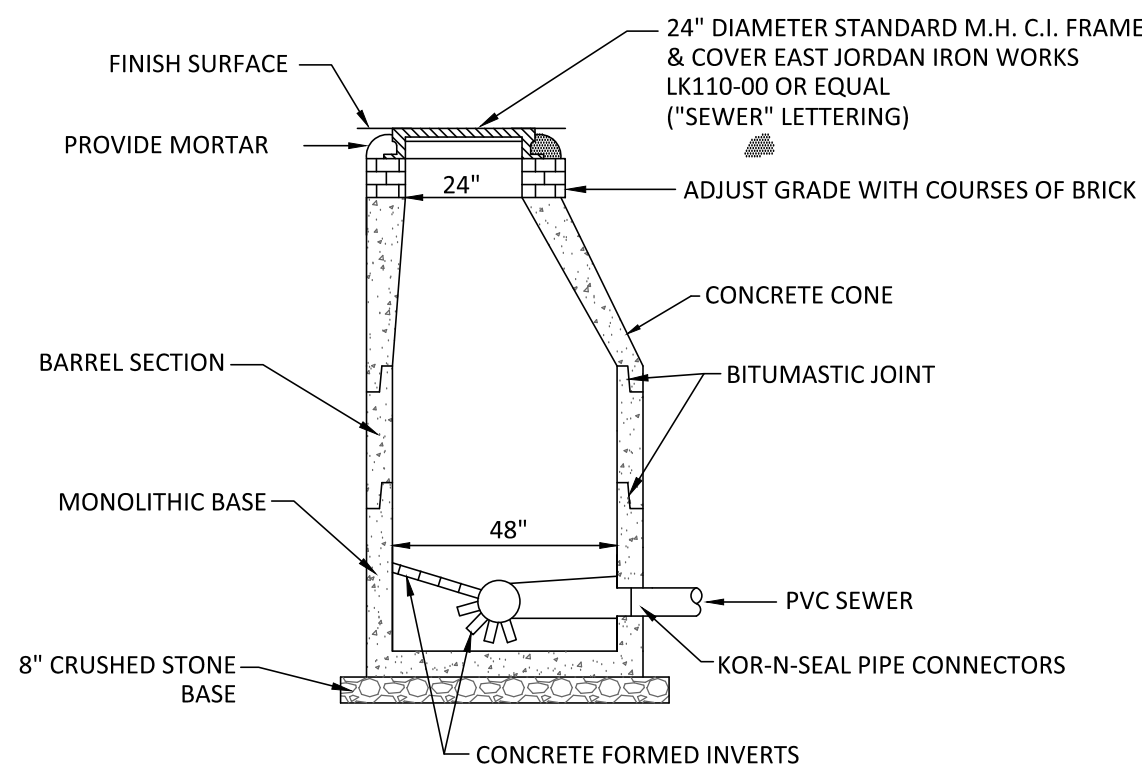


HYDRANT AND GATE VALVE DETAIL
(NOT TO SCALE)

TRENCH WIDTH (W)		
D DIAMETER OF PIPE	W UNSHEETED	W SHEETED
TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'

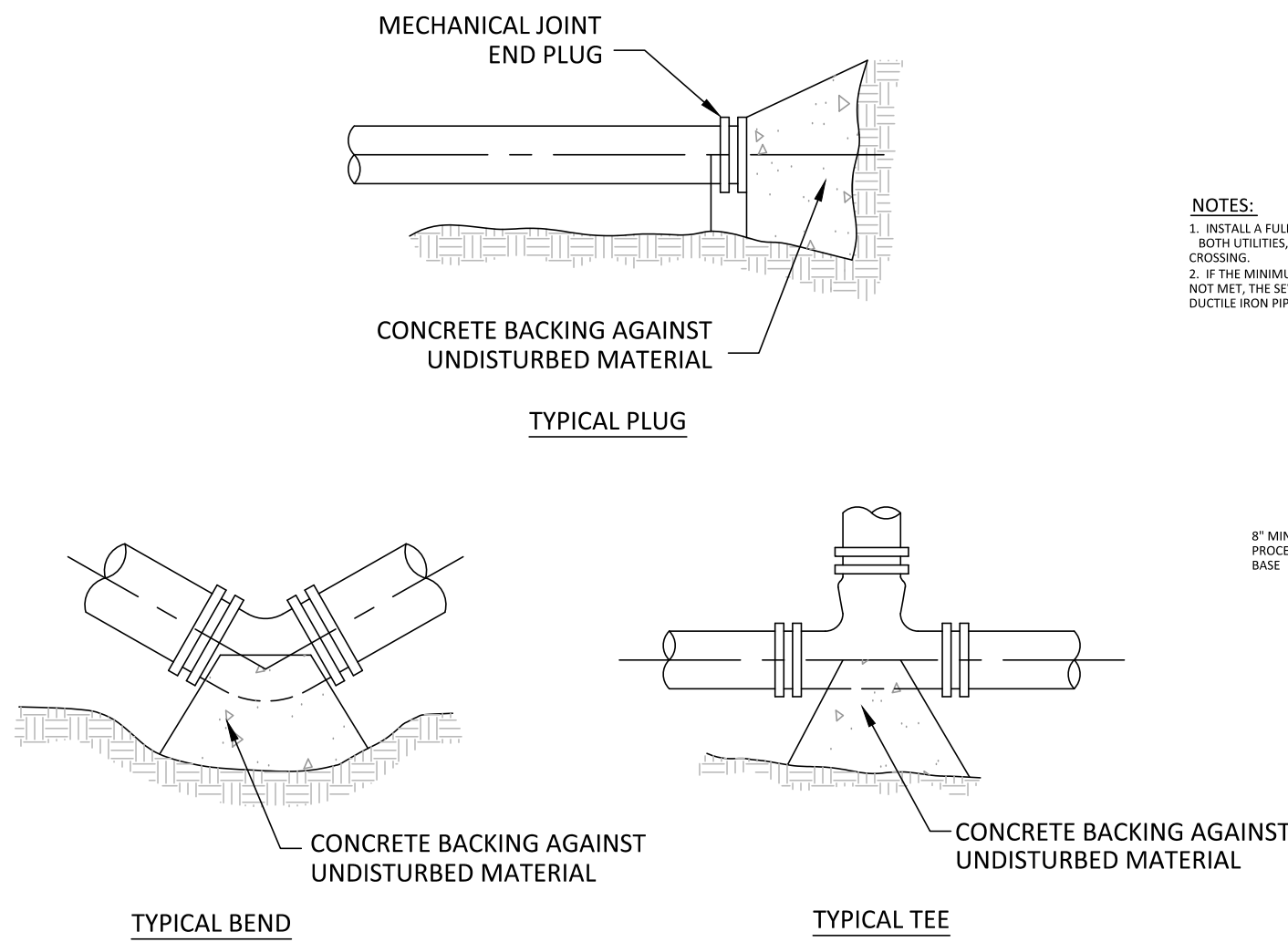


TYPICAL TRENCH SECTION
(NOT TO SCALE)

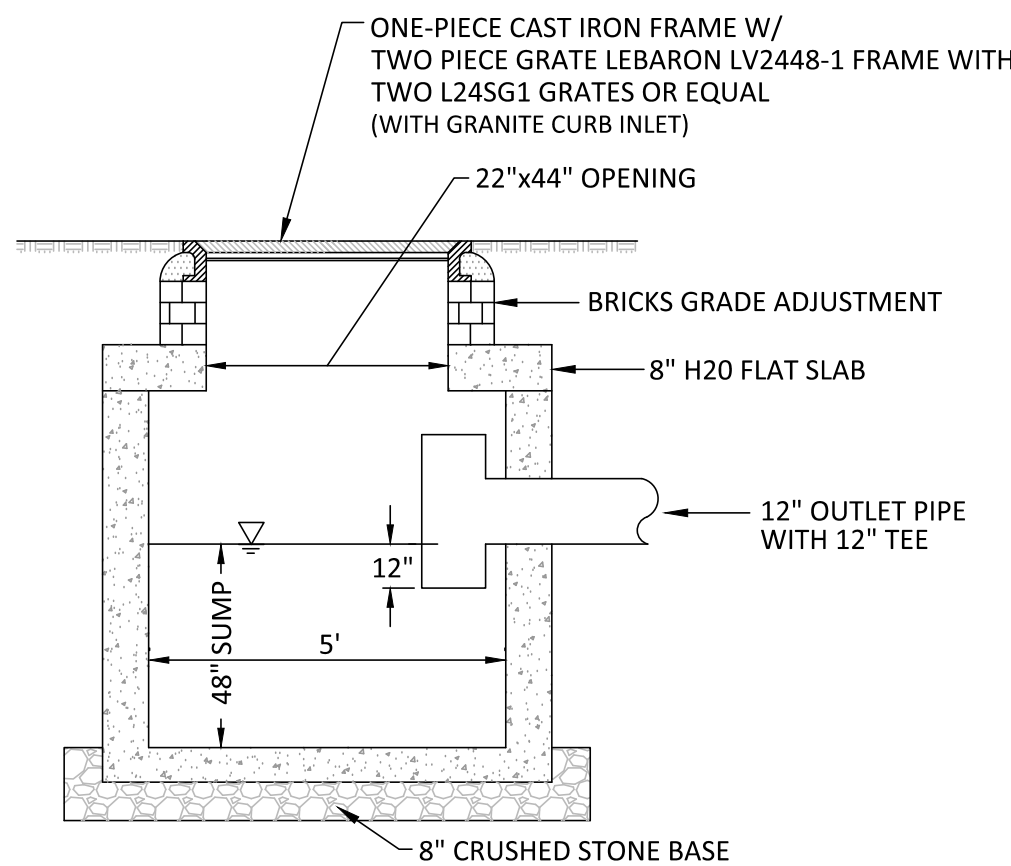


- NOTES:
1. MANHOLE DESIGN SHALL CONFORM TO LATEST ASTM C478.
 2. REINFORCING STEEL SHALL CONFORM TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH-4,000 PSI @ 28 DAYS.
 4. ONE POUR MONOLITHIC BASE.
 5. STEPS-STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMING TO LATEST ASTM C478 PARA-12.
 6. KOR-N-SEAL FLEXIBLE PIPE CONNECTORS SHALL CONFORM TO LATEST ASTM C923, A167.

SEWER MANHOLE DETAIL (SMH)
(NOT TO SCALE)



THRUST BLOCK DETAILS
(NOT TO SCALE)



- NOTE:
- SEE SINGLE CATCH BASIN DETAIL FOR ADDITIONAL INFORMATION

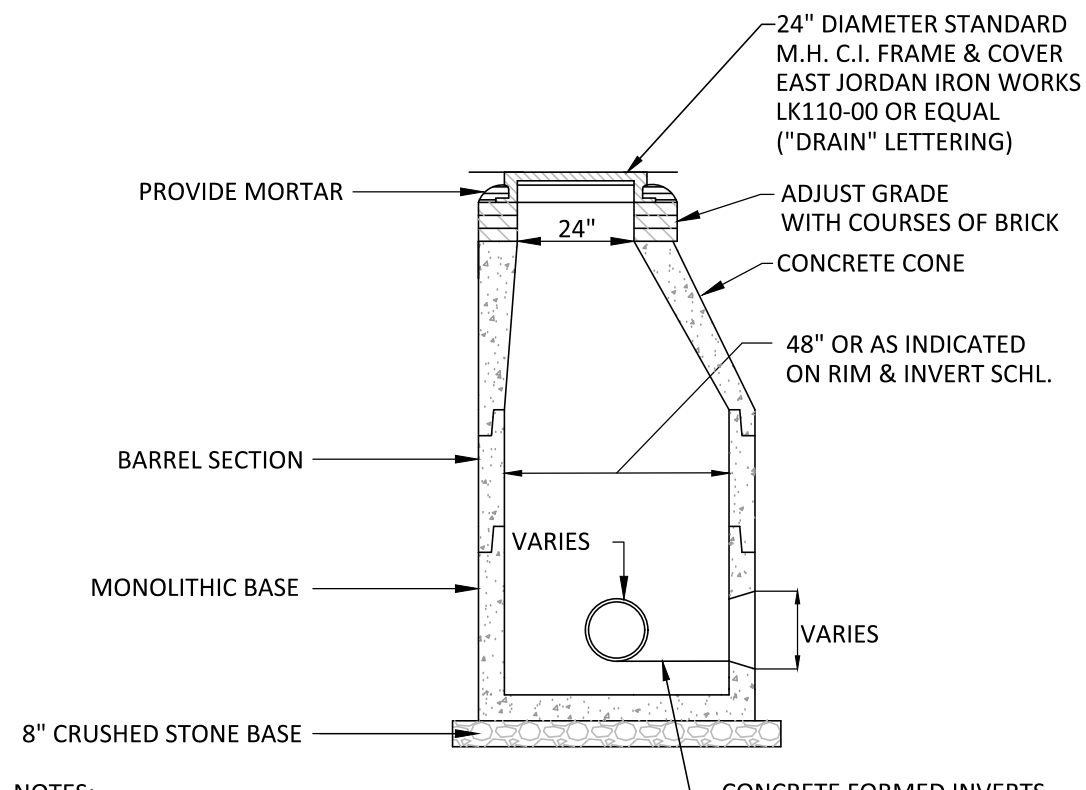
DOUBLE CATCHBASIN (DCB)
(NOT TO SCALE)

I, _____, CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

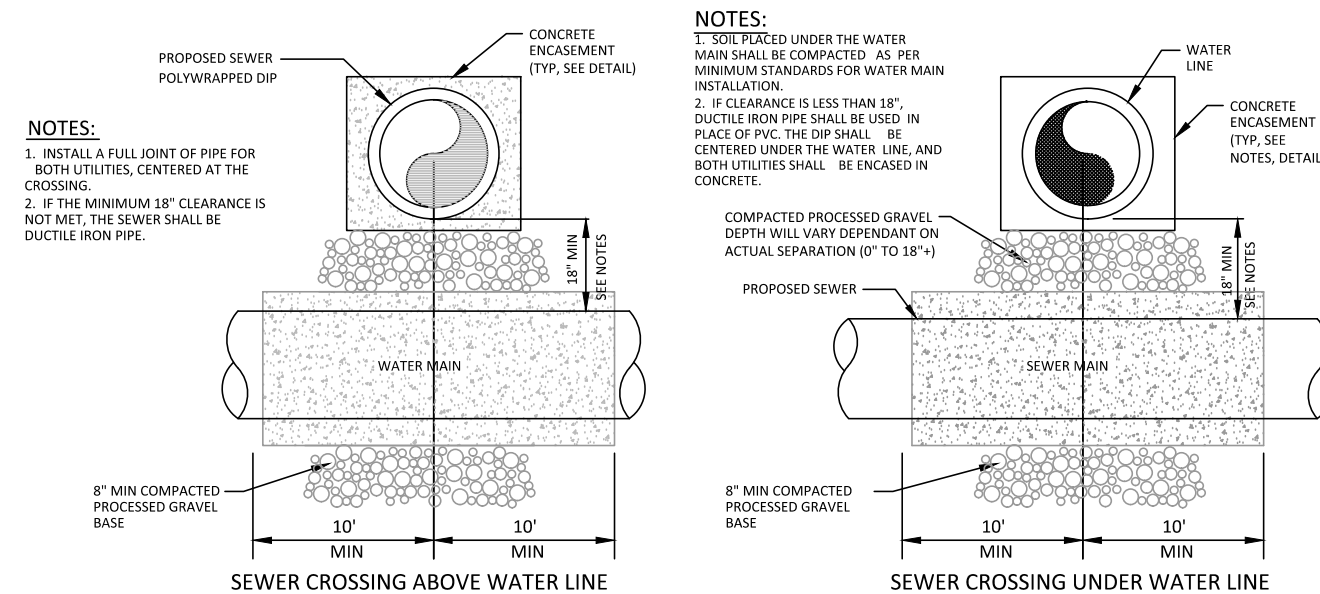
DATE

DATE:

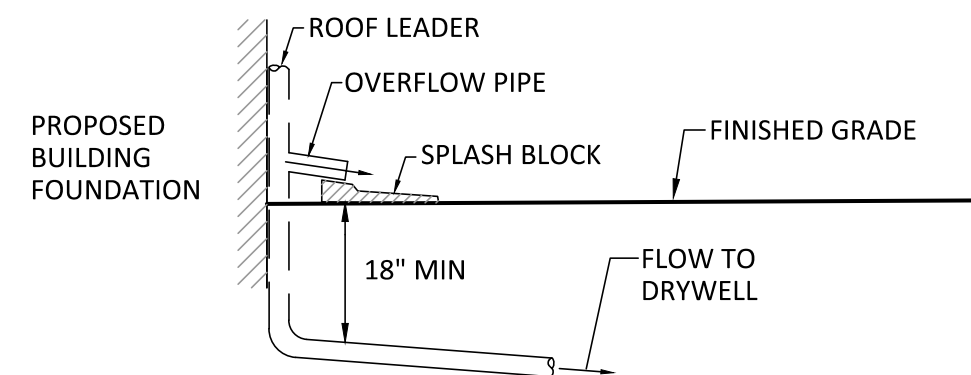


- NOTES:
1. MANHOLE DESIGN TO LATEST ASTM C478.
 2. REINFORCING STEEL CONFORMS TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
 4. ONE POUR MONOLITHIC BASE.
 5. STEPS - STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTICS (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMS TO LATEST ASTM C478 PARA-12.
 6. BITUMASTIC BUTYL RUBBER FOR JOINTS CONFORM TO LATEST ASTM C443 AND FED SS-5-201A SPEC.

PRECAST CONCRETE DRAIN MANHOLE
(NOT TO SCALE)



SEWER/WATER MAIN CROSSING
(NOT TO SCALE)



ROOF DOWNSPOUT CONNECTION
(NOT TO SCALE)

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE

FOR REGISTRY OF DEEDS USE ONLY



DATE: FEBRUARY 5, 2021
SCALE: N.T.S.
SHEET No. 23 of 27
PROJECT No. 6332

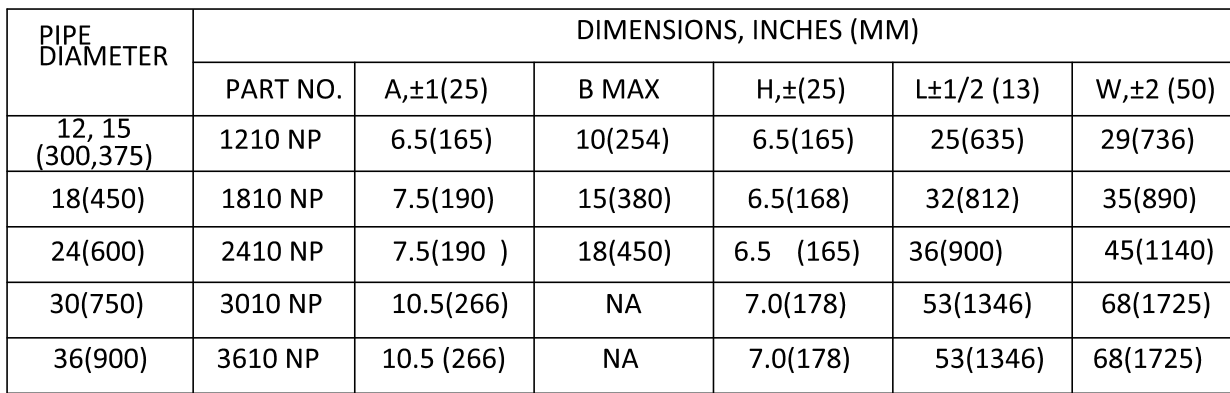
THE VILLAGE AT SHEPLEY HILL
DETAIL SHEET
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES
500 CLIMMINGS CENTER, SUITE 500
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM

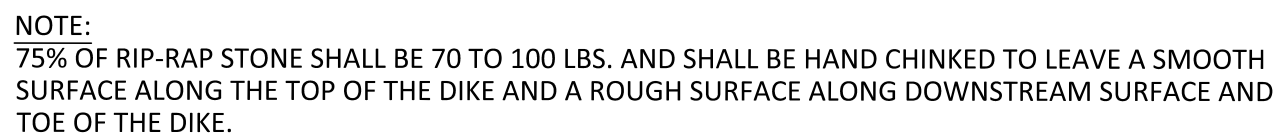
CHECKED BY: CEW

DESIGNED BY:

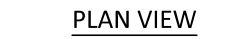
REVISIONS	DATE	DESCRIPTION	BY



1. SPREAD THE END SECTION COLLAR AND PLACE IT OVER THE LAST PIPE CORRUGATION. MAKE SURE THE COLLAR SEATS PROPERLY IN THE CORRUGATION VALLEY.
2. INSERT THREADED ROD THROUGH THE PRE-DRILLED HOLES IN THE END SECTION COLLAR. TIGHTEN WING NUTS.
3. PLACE BACKFILL AROUND THE END SECTION AND OVER THE TOE PLATE. USE CARE DURING COMPACTION ALONG THE SIDES TO PREVENT DISTORTION.



(NOT TO SCALE)



NOTE: WOOD SUPPORT POST TO BE DRIVEN 18" MIN. INTO GRADE. MAX. SPACING BETWEEN SUPPORT POSTS TO BE 6'.

NOT TO SCALE



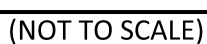
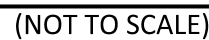
(NOT TO SCALE)



LOCATE STOCKPILE IN A DRY AND STABLE AREA OUTSIDE OF 100' WETLAND BUFFER ZONE.

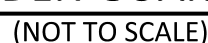
STABILIZE STOCKPILE WITH ANNUAL RYEGRASS, MULCH OR EROSION CONTROL BLANKETS.

(NOT TO SCALE)



THE FILTER SOCK SHALL BE STAKED ON ENDS AND THROUGH THE CENTER AT 10 FT INTERVALS. PROVIDE UPSLOPE RETURNS AT ENDS.

(NOT TO SCALE)



I, _____ CLERK OF THE TOWN OF GROTON,
MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF
THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND
RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED
DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF
SAID NOTICE.

TOWN CLERK

DATE _____

DATE _____

REVISIONS

DATE	DESCRIPTION	BY
------	-------------	----

DATE _____

THE VILLAGE AT SHEPLEY HILL

DETAIL SHEET

LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

PREPARED FOR

SHEPLEY HILL CAPITAL PARTNERS LLC
PREPARED FOR

MERIDIAN
ASSOCIATES



500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447

69 MILK STREET, SUITE 208
WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (508) 871-7030

WWW.MERIDIANASSOC.COM

[illegible]

DESIGNED BY:

DATE:
FEBRUARY 5, 2021

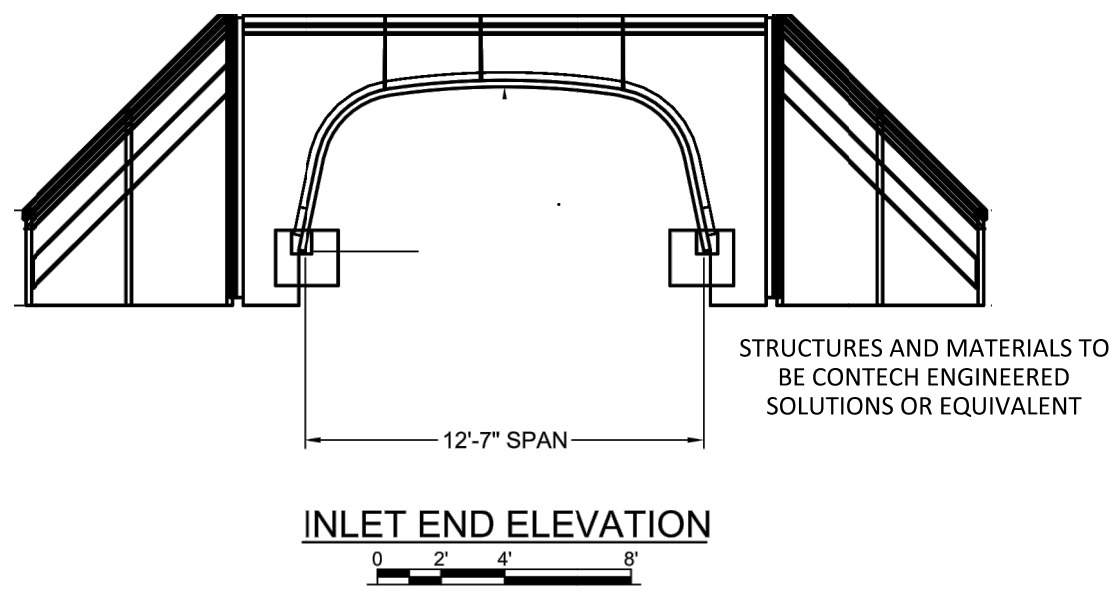
SCALE:
N.T.S.

SHEET No.

24 OF 27

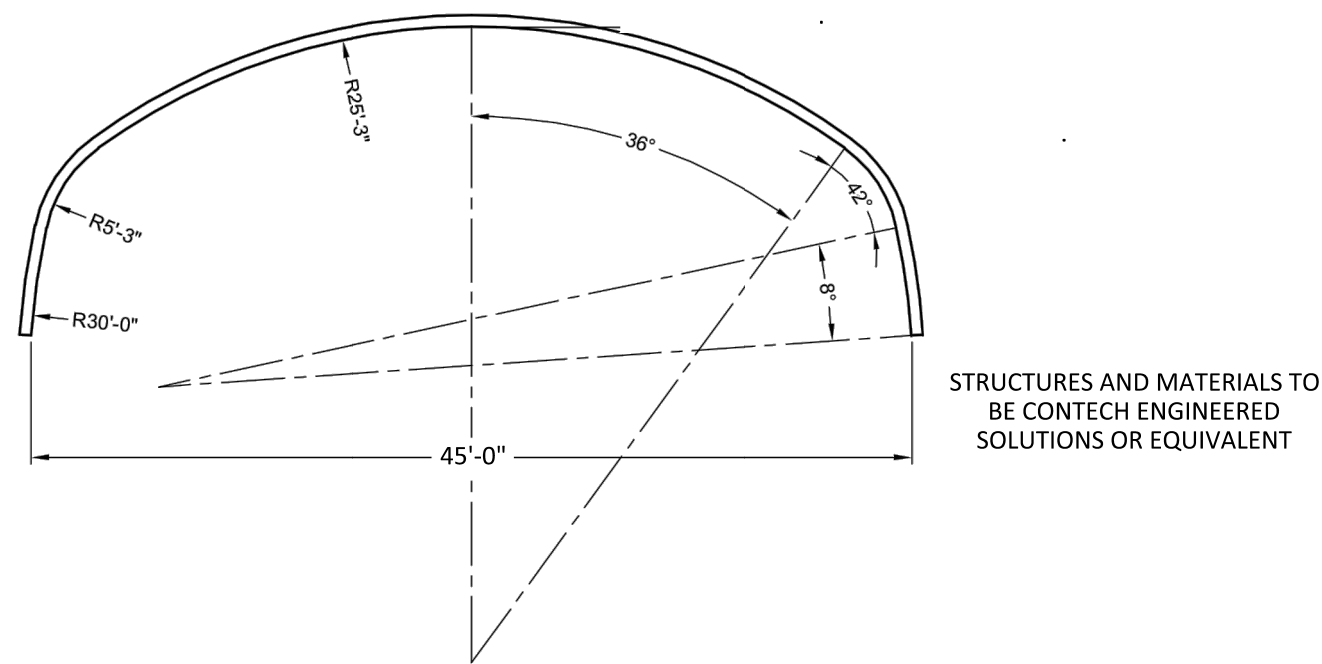
PROJECT No.

6332

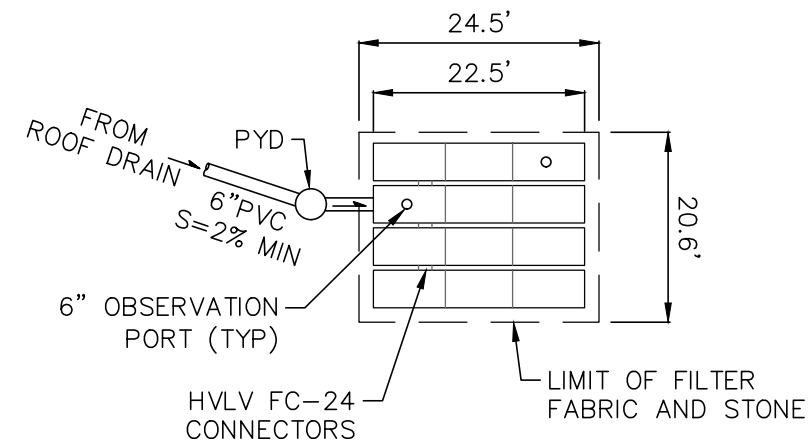


SCHEMATIC CULVERT CROSSING - ROAD B
(NOT TO SCALE)

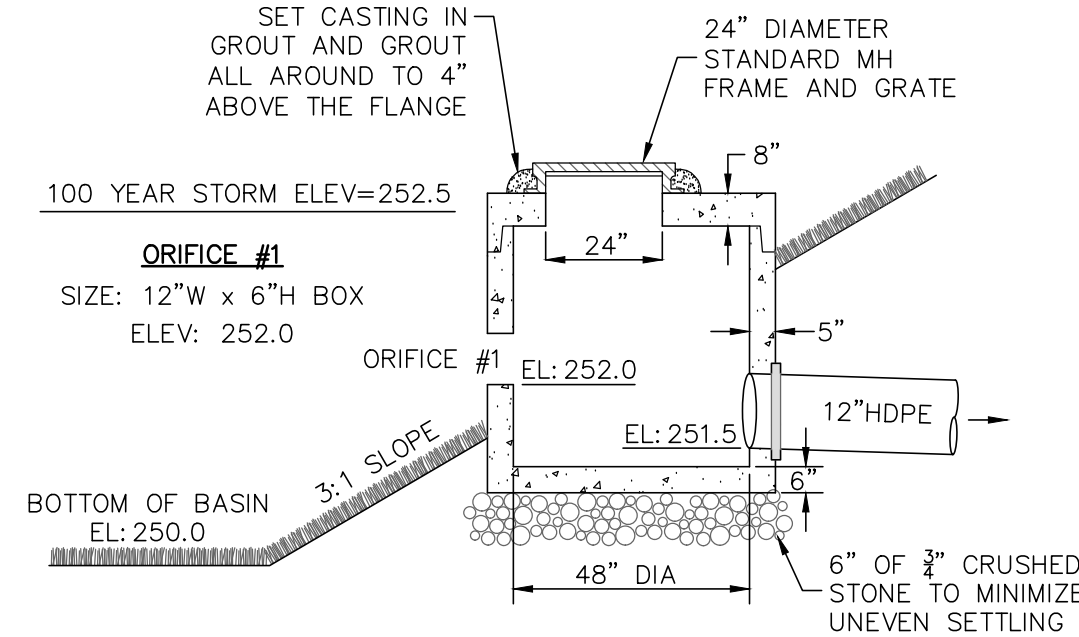
* FINAL DIMENSIONS OF ALL CULVERTS
TO BE FIELD VERIFIED



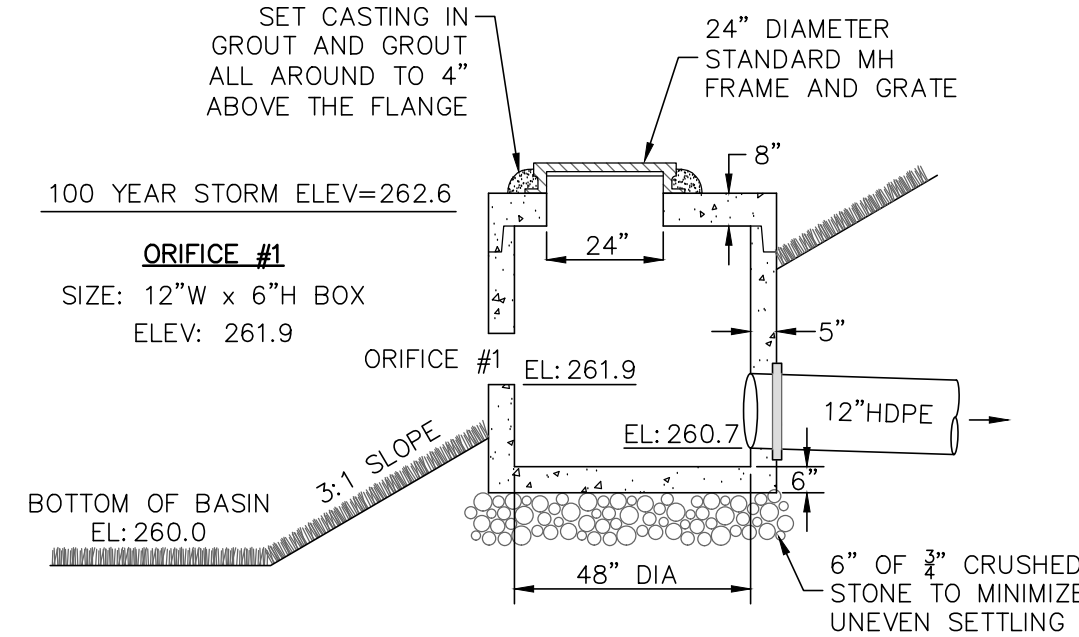
SCHEMATIC CULVERT CROSSING - ROAD A
(NOT TO SCALE)



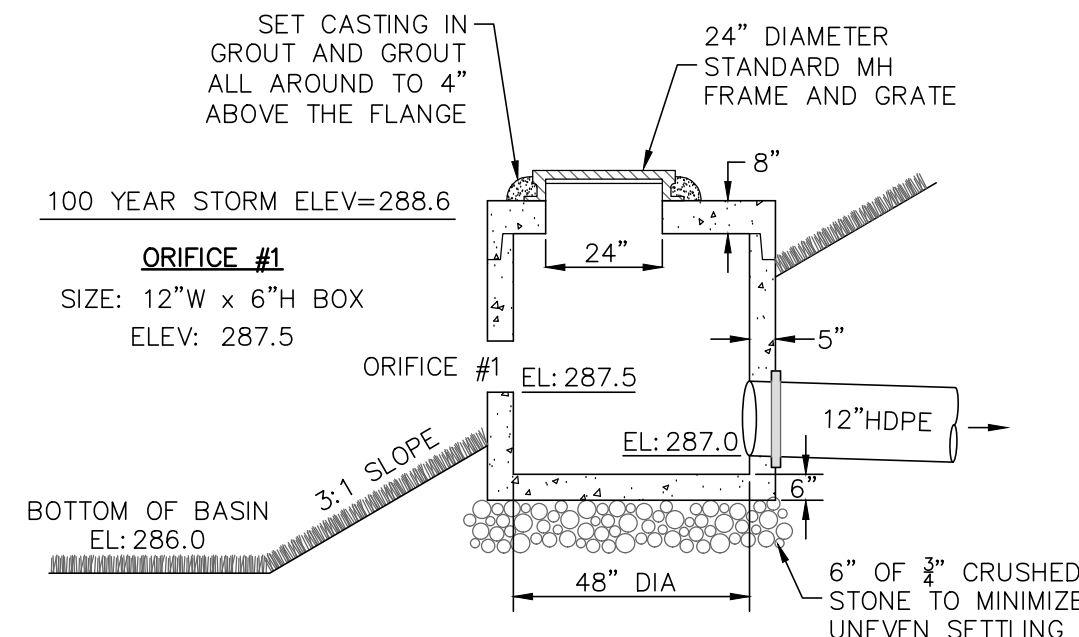
PROVIDE 12 CULTEC RECHARGER 330XL UNITS
(PLAN VIEW)
TYPICAL SUBSURFACE INFILTRATION FACILITY
(NOT TO SCALE)



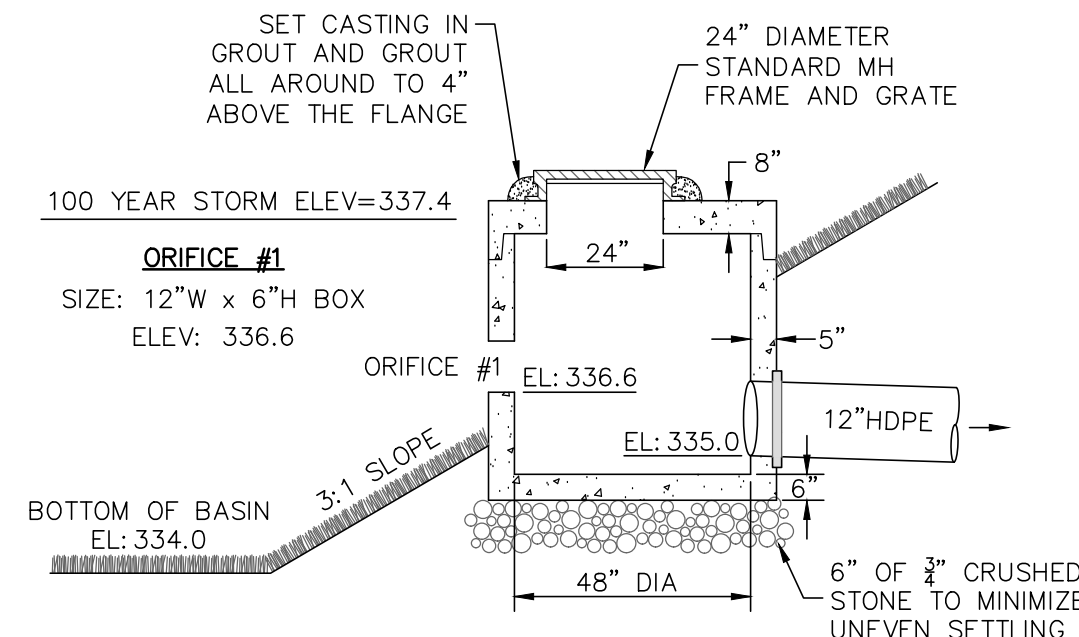
BASIN #1
OUTLET CONTROL STRUCTURE
(NOT TO SCALE)



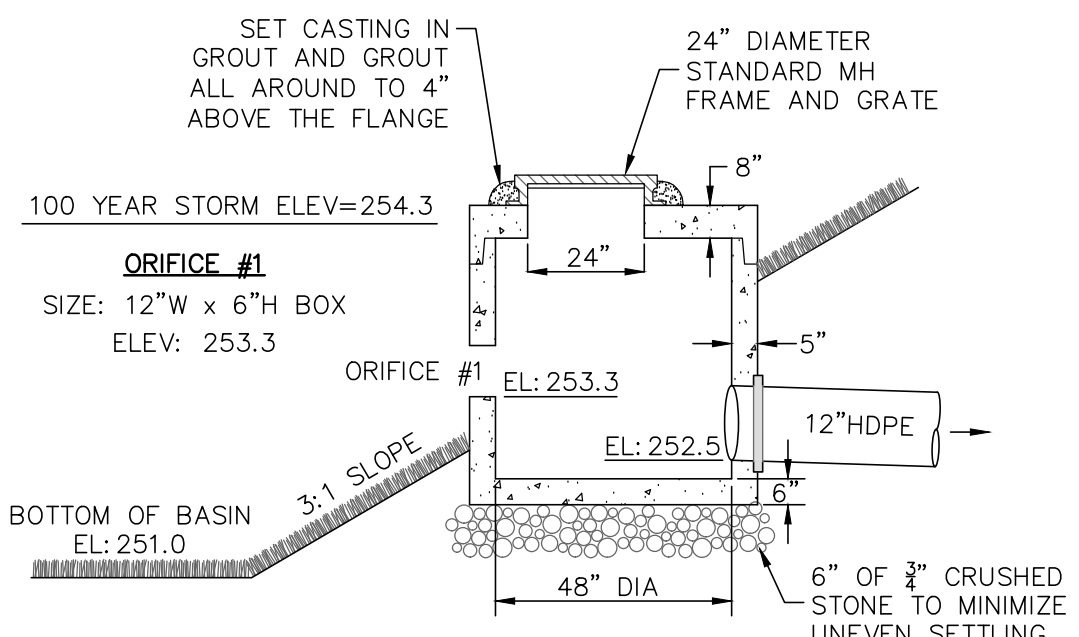
BASIN #2
OUTLET CONTROL STRUCTURE
(NOT TO SCALE)



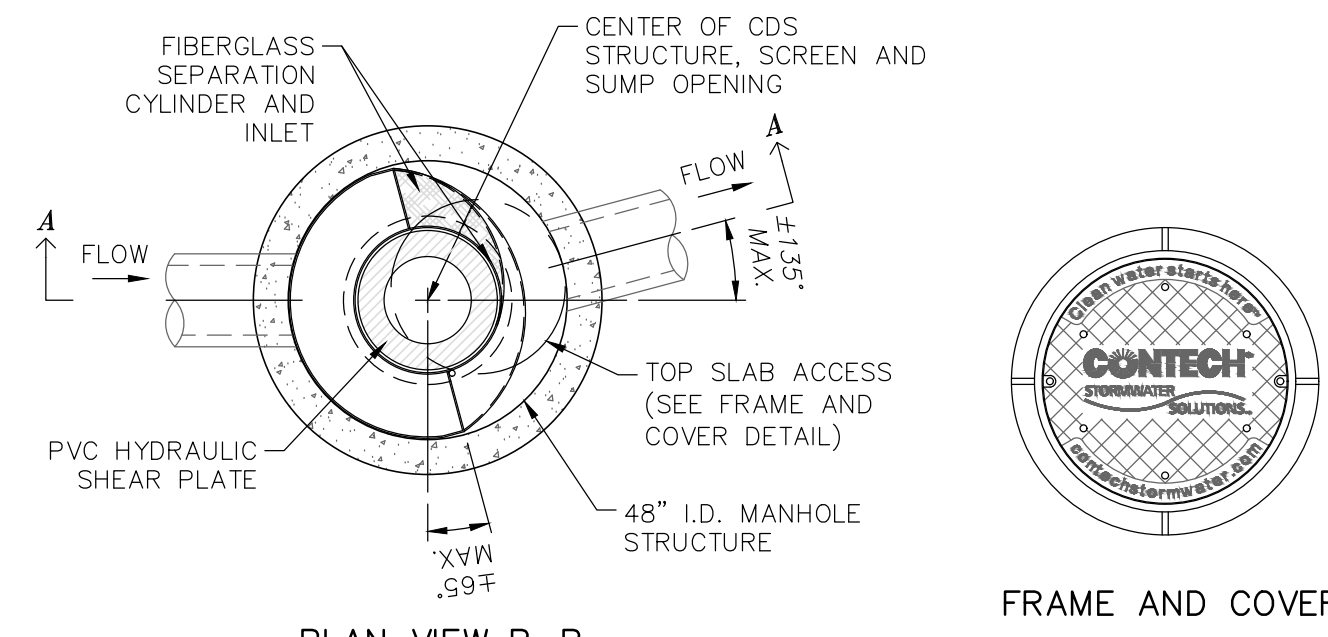
BASIN #3
OUTLET CONTROL STRUCTURE
(NOT TO SCALE)



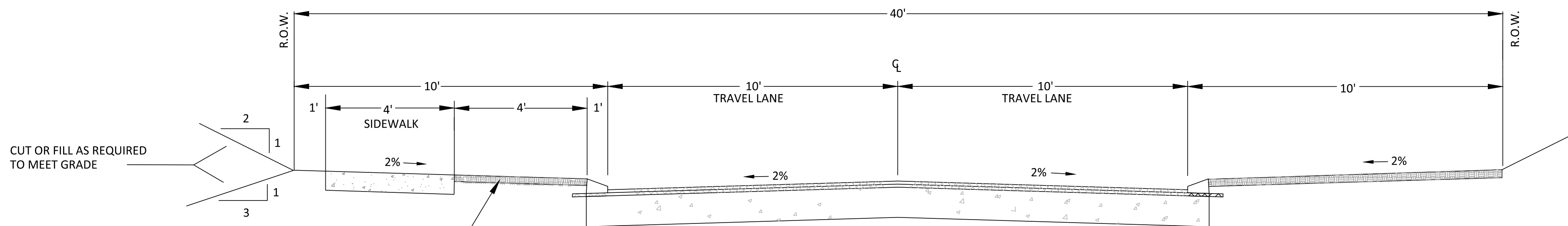
BASIN #8
OUTLET CONTROL STRUCTURE
(NOT TO SCALE)



BASIN #5
OUTLET CONTROL STRUCTURE
(NOT TO SCALE)



FRAME AND COVER



ROADWAY CROSS SECTION
(NOT TO SCALE)

APPROVED BY:
GROTON PLANNING BOARD

ORIGINAL ORGANIC FREE MATERIAL
MEETING TYPE B M.103.0 OR
COMPACTED GRAVEL-APPROVED BY
D.P.W. OR ITS AGENT
ALL UNSUITABLE SUBGRADE MATERIAL
WITHIN RIGHT OF WAY SHALL BE
REMOVED.

4" LOAM AND
SEED PLANTING STRIP

I, _____, CLERK OF THE TOWN OF GROTON,
MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF
THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND
RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED
DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF
SAID NOTICE.

TOWN CLERK

DATE

DATE

- NOTES:
1. PROVIDE CDS 2015-4-C AS MANUFACTURED BY
CONTECH ENGINEERED SOLUTIONS OR EQUAL.
 2. UNIT CAN BE CONFIGURED WITH GRATED COVER
AS NECESSARY.

CONTECH CDS DETAIL
(NOT TO SCALE)

I DECLARE, TO THE BEST OF MY PROFESSIONAL
KNOWLEDGE, INFORMATION, AND BELIEF, THAT
THIS PLAN WAS PREPARED IN ACCORDANCE WITH
THE RULES AND REGULATIONS OF THE REGISTERS
OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE

FOR REGISTRY OF DEEDS USE ONLY



MERIDIAN
ASSOCIATES

500 CLIMMINGS CENTER SUITE 5050
BEVERLY MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOCIATES.COM

CHECKED BY: CEW

DESIGNED BY:

DATE:
FEBRUARY 5, 2021
SCALE:
N.T.S.
SHEET No.
25 OF 27
PROJECT No.
6332

THE VILLAGE AT SHEPLEY HILL
DETAIL SHEET
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

REVISIONS

DESCRIPTION

DATE

BY

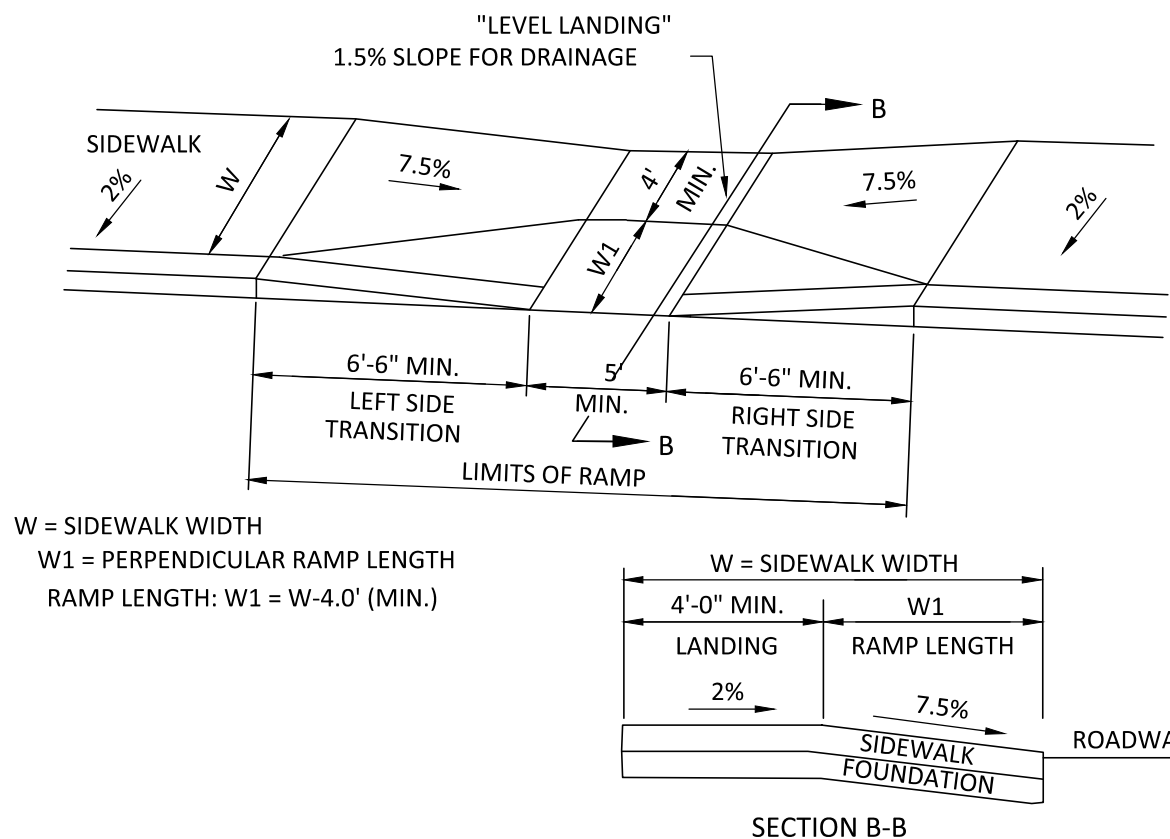
I, CLERK OF THE TOWN OF GROTON,
MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF
THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND
RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED
DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF
SAID NOTICE.

FOR MERIDIAN ASSOCIATES, INC. DATE

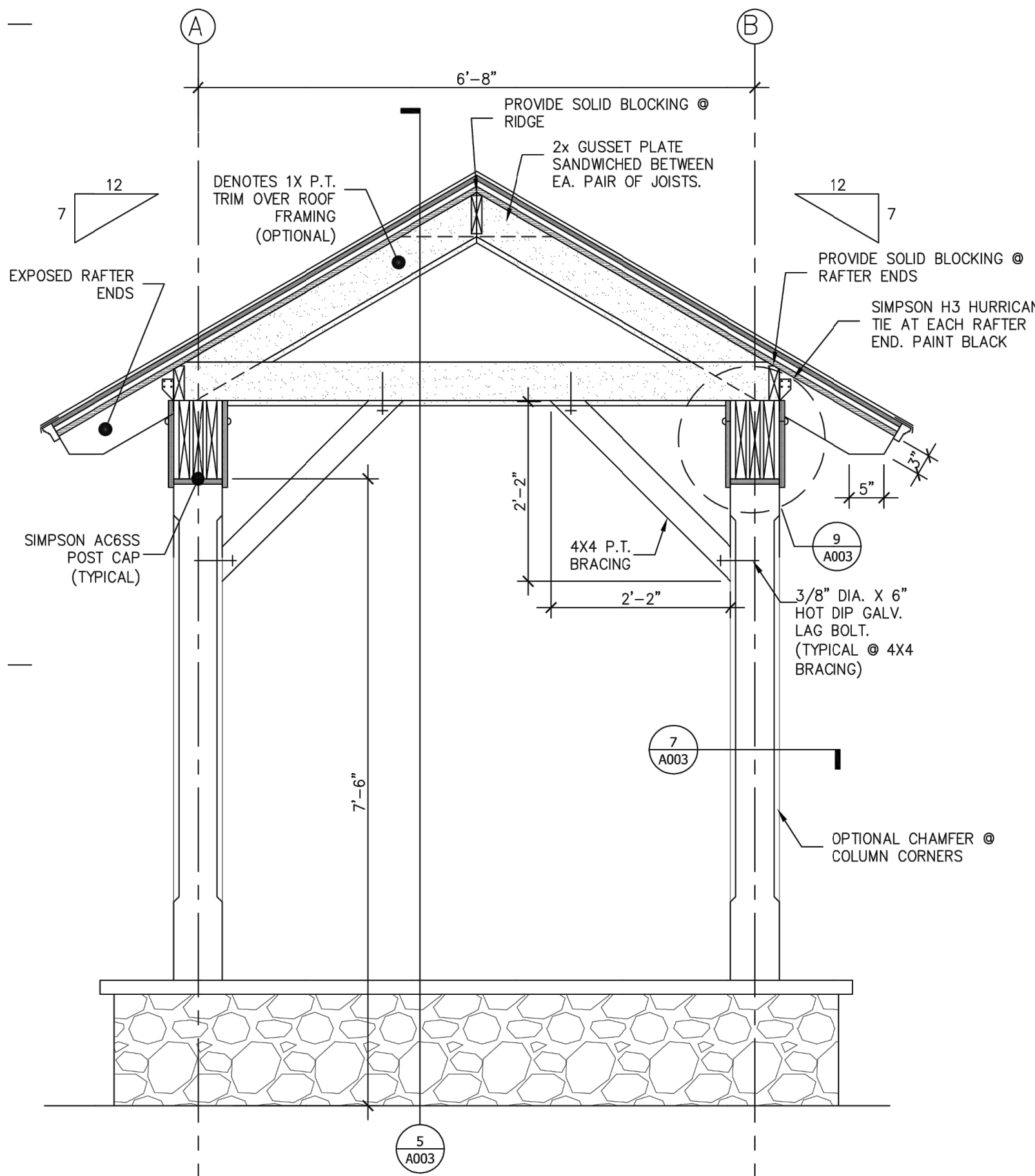
I, CLERK OF THE TOWN OF GROTON,
MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF
THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND
RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED
DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF
SAID NOTICE.

APPROVED BY:
GROTON PLANNING BOARD

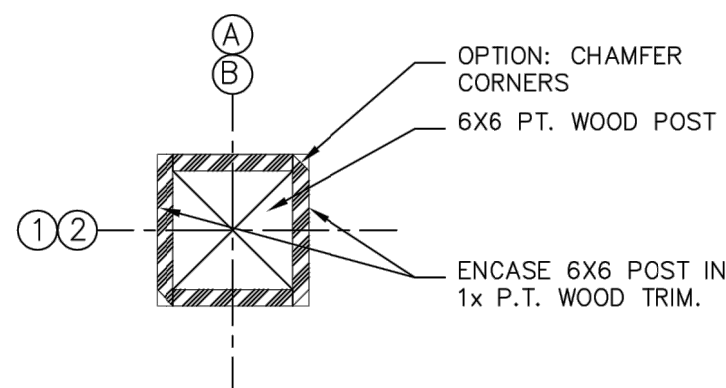
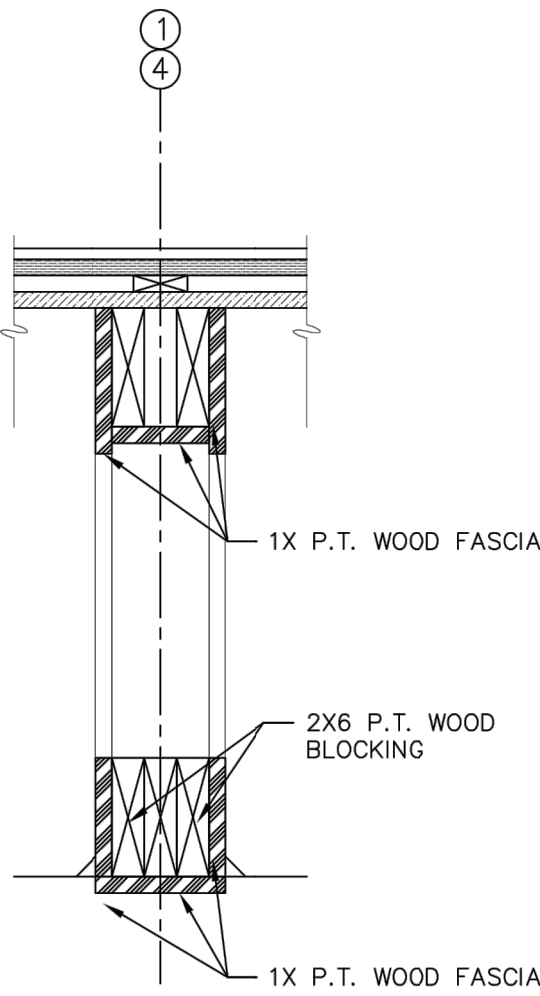
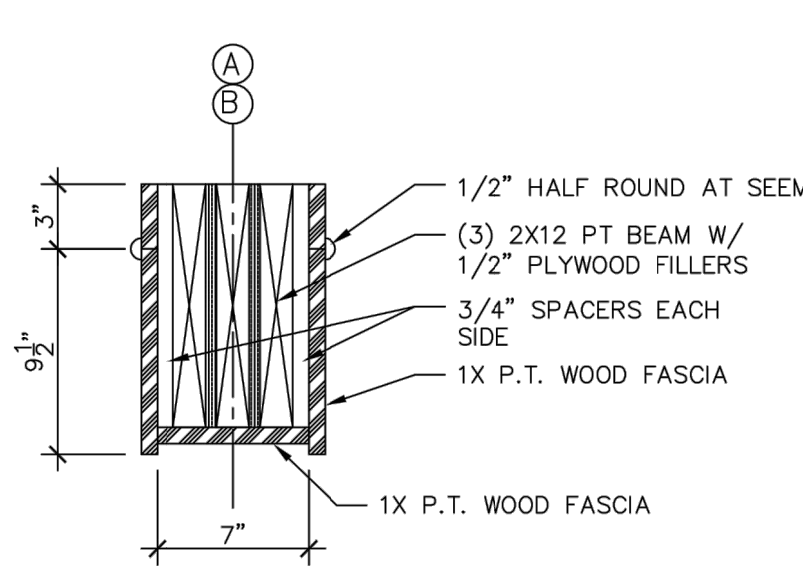
TOWN CLERK DATE



HANDICAP RAMP
NOT TO SCALE

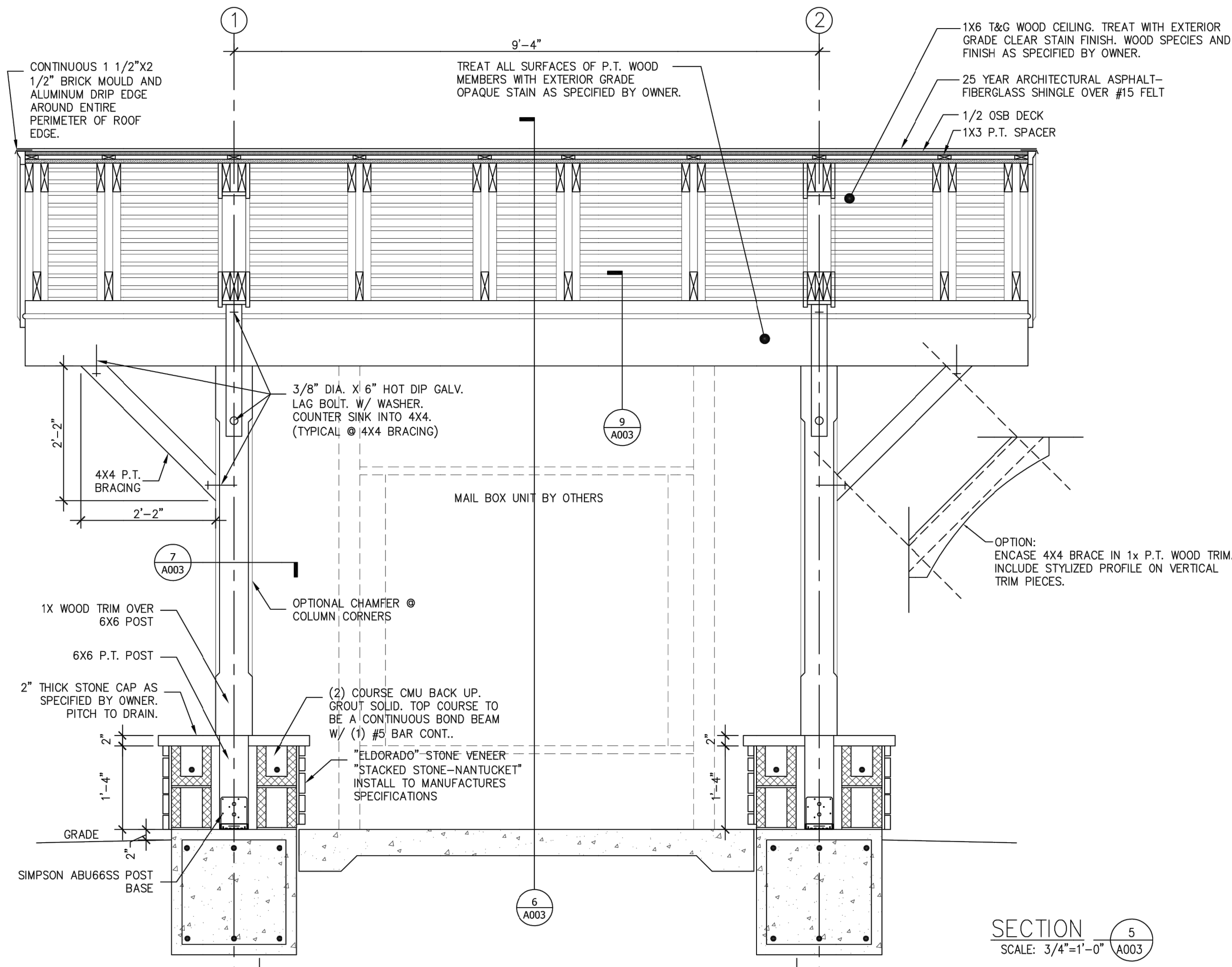
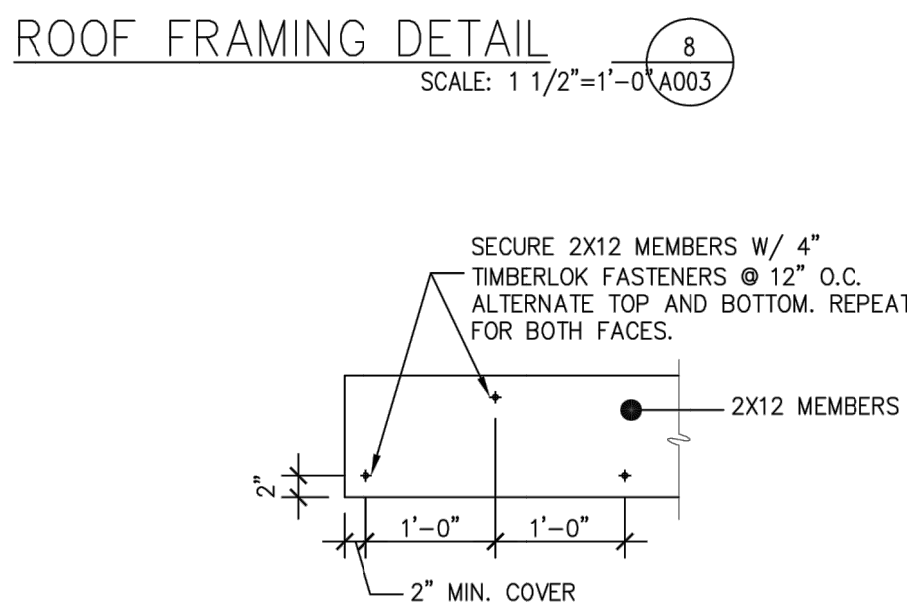
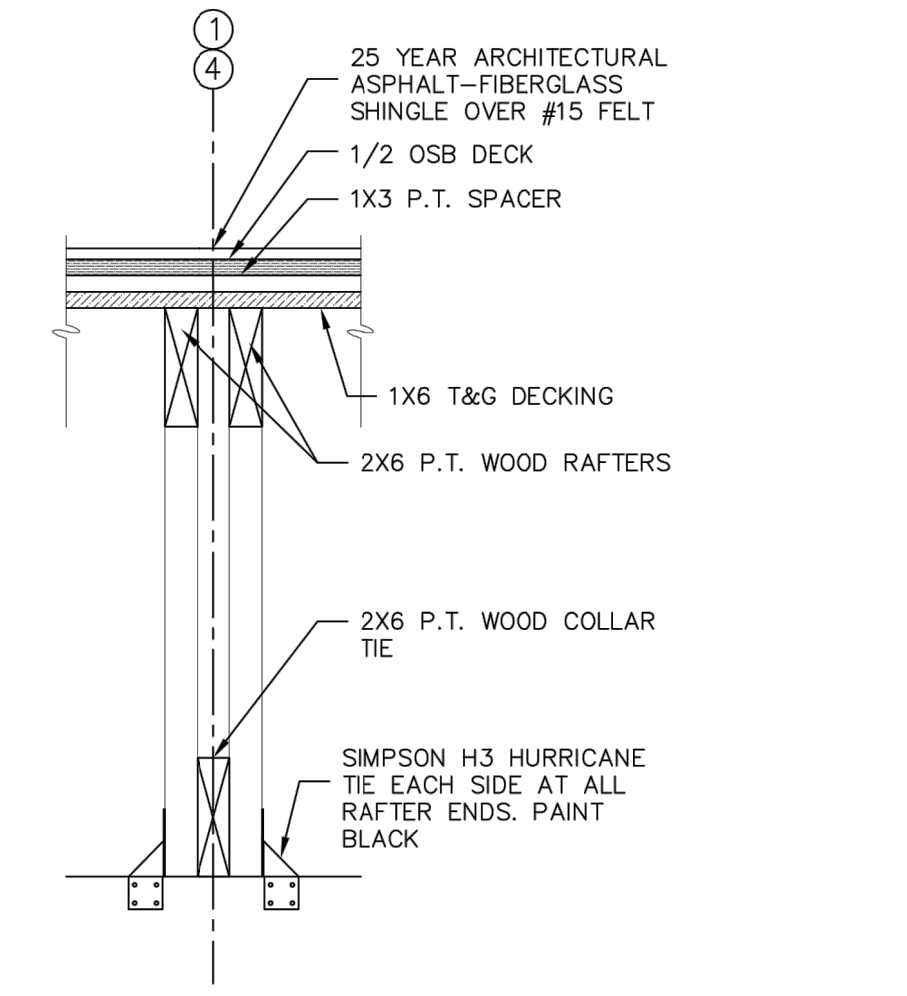


SECTION 6
SCALE: 3/4"=1'-0" A003

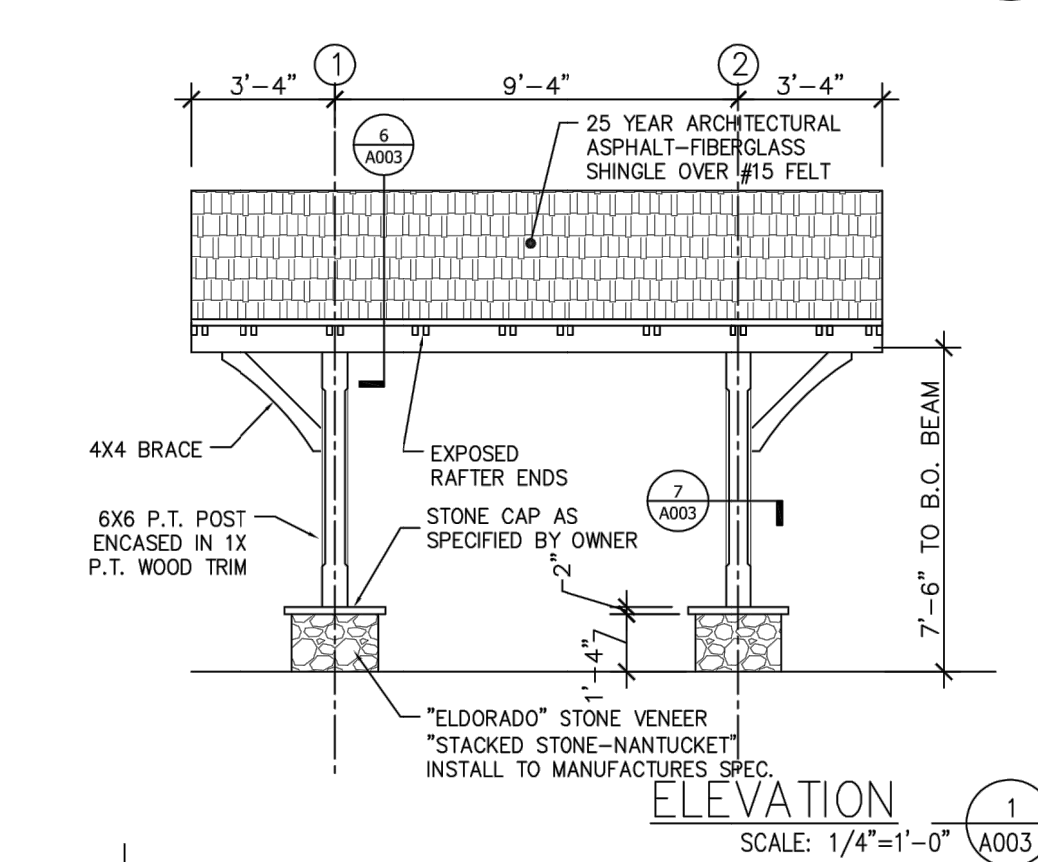
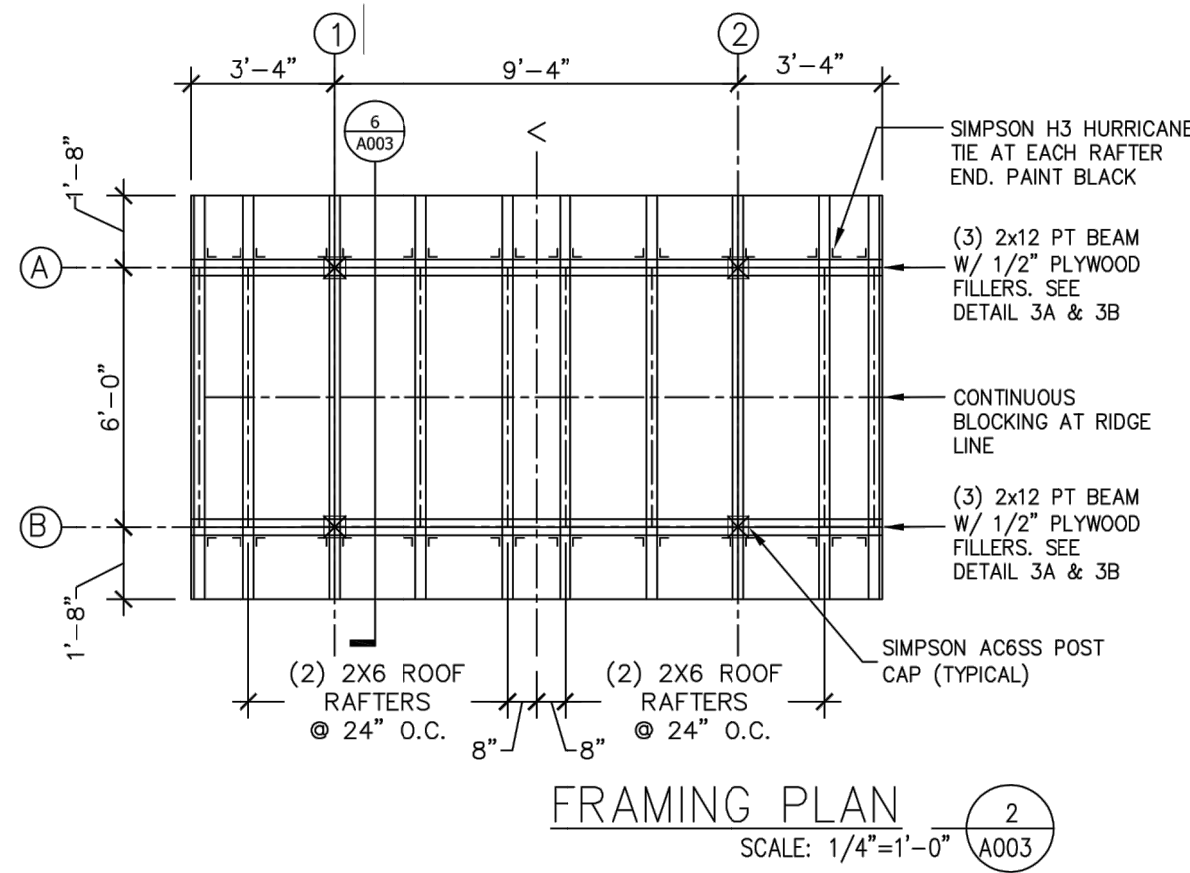
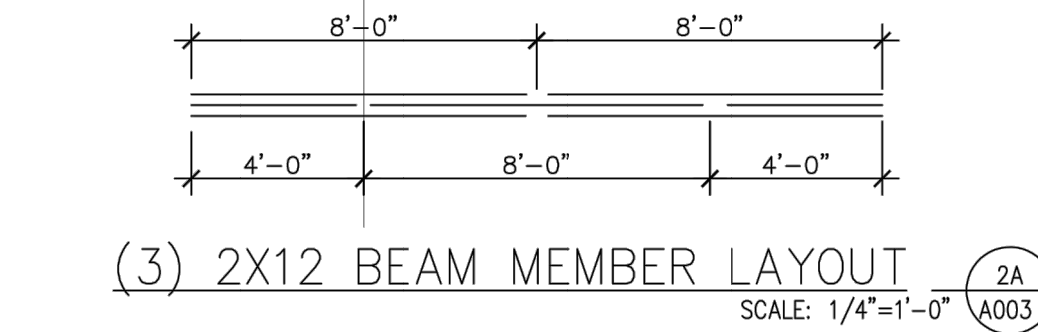
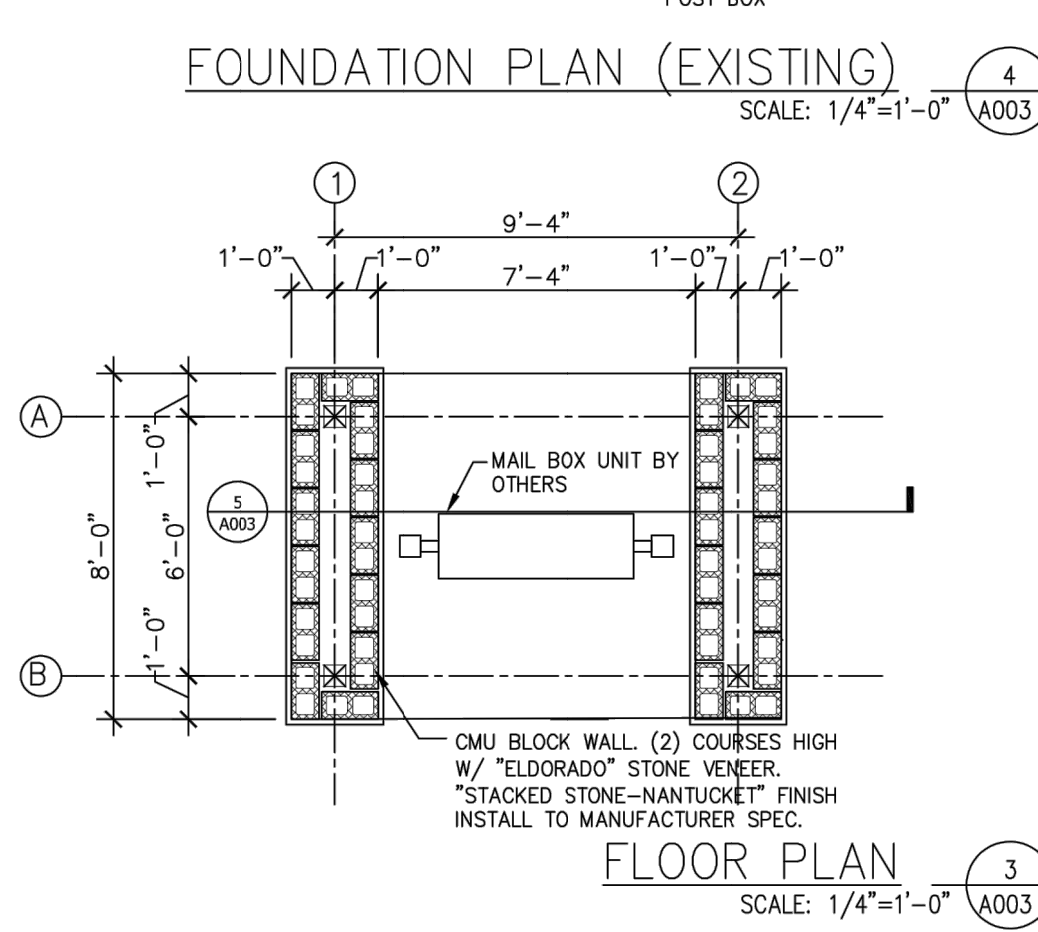
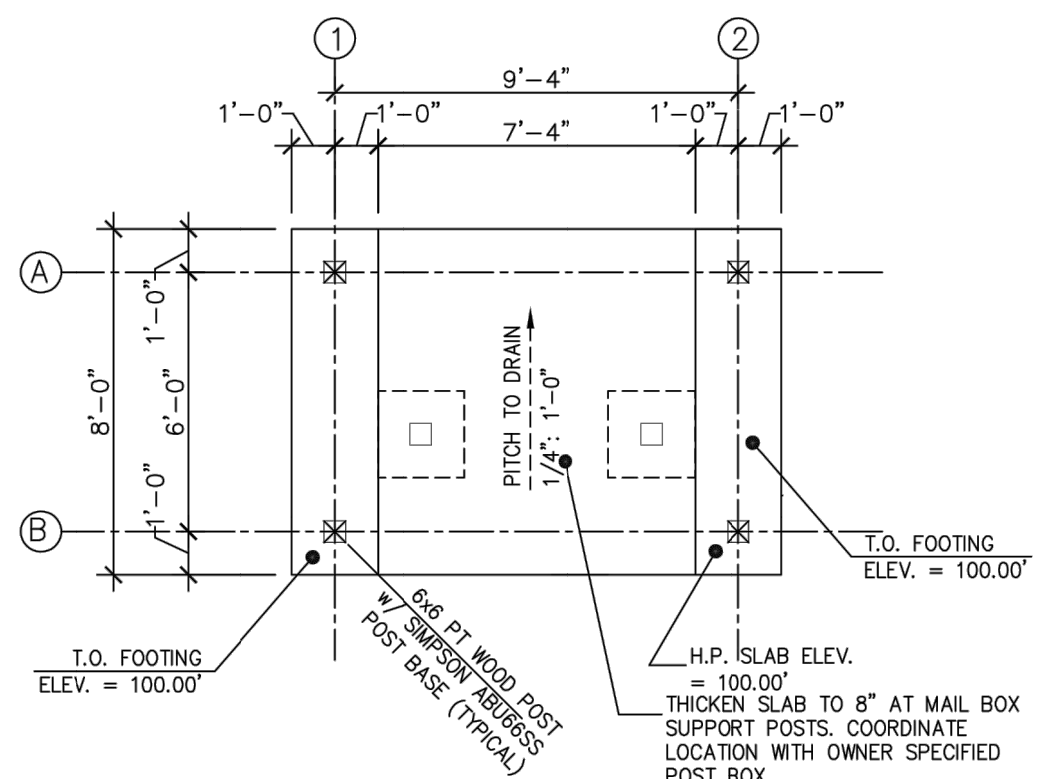


POST SECTION
SCALE: 1 1/2"=1'-0" A003

DETAIL SHOWN FOR SCHEMATIC
PURPOSES ONLY.
FINAL MAILBOX DESIGN BY OTHERS.



SECTION 5
SCALE: 3/4"=1'-0" A003



REVISIONS

DATE

DESCRIPTION

THE VILLAGE AT SHEPLEY HILL
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES
500 CLAMMING CENTER SUITE 500
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM

DATE: FEBRUARY 5, 2021
SCALE: N.T.S.
SHEET No. 26 of 27
PROJECT No. 6332

CHECKED BY: CEW

DESIGNED BY:

UNOFFICIAL SOIL TESTING

UNOFFICIAL SOIL TESTING PERFORMED ON OCTOBER 29, 2020
BY CHRIS BROYLES, SE 13760, MERIDIAN ASSOCIATES

TP D-1

0"-10"
10"-23"
23"-60"
HORIZON A: LOAMY SAND
HORIZON B: SANDY LOAM
LAYER C: FINE SANDY LOAM

ESHW NOT OBSERVED
NO WEEPING, NO STANDING WATER

TP D-2

0"-12"
12"-24"
24"-69"
HORIZON A: LOAMY SAND
HORIZON B: SANDY LOAM
LAYER C: FINE SANDY LOAM

ESHW NOT OBSERVED
NO WEEPING, NO STANDING WATER

TP D-3

0"-12"
12"-23"
23"-70"
HORIZON A: LOAMY SAND
HORIZON B: SANDY LOAM
LAYER C: FINE SANDY LOAM

ESHW NOT OBSERVED
NO WEEPING, NO STANDING WATER

TP D-4

0"-16"
16"-27"
27"-44"
44"-87"
HORIZON A: LOAMY SAND
HORIZON B: SANDY LOAM
LAYER C: SAND
LAYER C₂: SAND

ESHW @ 84"
NO WEEPING, NO STANDING WATER

TP D-5

0"-11"
11"-19"
19"-28"
28"-84"
HORIZON A: LOAMY SAND
HORIZON B: SANDY LOAM
LAYER C: SANDY LOAM
LAYER C₂: LOAMY SAND

ESHW NOT OBSERVED
NO WEEPING, NO STANDING WATER

TP D-6

0"-11"
11"-21"
21"-30"
30"-108"
HORIZON A: LOAMY SAND
HORIZON B: SANDY LOAM
LAYER C: SANDY LOAM
LAYER C₂: GRAVELY LOAMY SAND

ESHW NOT OBSERVED
NO WEEPING, NO STANDING WATER

TP D-7

0"-9"
9"-23"
23"-50"
50"-71"
71"-78"
HORIZON A: LOAMY SAND
HORIZON B: SAND
LAYER C: SAND
LAYER C₂: FINE SAND
LAYER C₃: SILT LOAM

ESHW NOT OBSERVED
NO WEEPING, NO STANDING WATER

TP D-8

0"-11"
11"-28"
28"-66"
66"-108"
HORIZON A: LOAMY SAND
HORIZON B: SAND
LAYER C: SAND
LAYER C₂: FINE SAND

ESHW NOT OBSERVED
NO WEEPING, NO STANDING WATER

OFFICIAL SOIL TESTING

OFFICIAL SOIL TESTING PERFORMED ON SEPTEMBER 14, 2020
BY APRIL FERRARO, SE 2878, MERIDIAN ASSOCIATES, AND
WITNESSED BY IRA GROSSMAN FOR THE TOWN OF GROTON

TP-1

0"-6"
6"-13"
13"-31"
31"-92"
HORIZON A: FINE LOAMY SAND
HORIZON B_w: FINE LOAMY SAND
LAYER C: FINE SANDY LOAM
LAYER C_{2d}: GRAVELY SILT LOAM

ESHW @ 59"
NO WEEPING, NO STANDING WATER

TP-2

0"-7"
7"-16"
16"-30"
30"-76"
HORIZON A: FINE LOAMY SAND
HORIZON B_w: FINE LOAMY SAND
LAYER C: FINE SANDY LOAM
LAYER C_{2d}: GRAVELY SILT LOAM

ESHW @ 35"
NO WEEPING, NO STANDING WATER

TP-3

0"-8"
8"-28"
28"-46"
46"-87"
HORIZON A: FINE LOAMY SAND
HORIZON B_w: FINE LOAMY SAND
LAYER C: FINE SANDY LOAM
LAYER C_{2d}: GRAVELY SILT LOAM

ESHW @ 60"
NO WEEPING, NO STANDING WATER

TP-4

0"-9"
9"-23"
23"-53"
53"-93"
HORIZON A: FINE LOAMY SAND
HORIZON B_w: FINE SAND
LAYER C: FINE SAND
LAYER C_{2d}: SILT LOAM

ESHW @ 53"
NO WEEPING, NO STANDING WATER

TP-5

0"-6"
6"-18"
18"-28"
28"-93"
HORIZON A: FINE LOAMY SAND
HORIZON B_w: FINE LOAMY SAND
LAYER C: FINE SANDY LOAM
LAYER C_{2d}: GRAVELY SILT LOAM

ESHW @ 36"
NO WEEPING, NO STANDING WATER

TP-6

0"-7"
7"-17"
17"-32"
32"-86"
HORIZON A: FINE LOAMY SAND
HORIZON B_w: FINE SAND
LAYER C: FINE SANDY LOAM
LAYER C_{2d}: GRAVELY SILT LOAM

ESHW @ 38"
NO WEEPING, NO STANDING WATER

UNOFFICIAL SOIL TESTING

UNOFFICIAL SOIL TESTING PERFORMED ON JANUARY 21, 2021
BY APRIL FERRARO, SE 2878, MERIDIAN ASSOCIATES

TP D-9

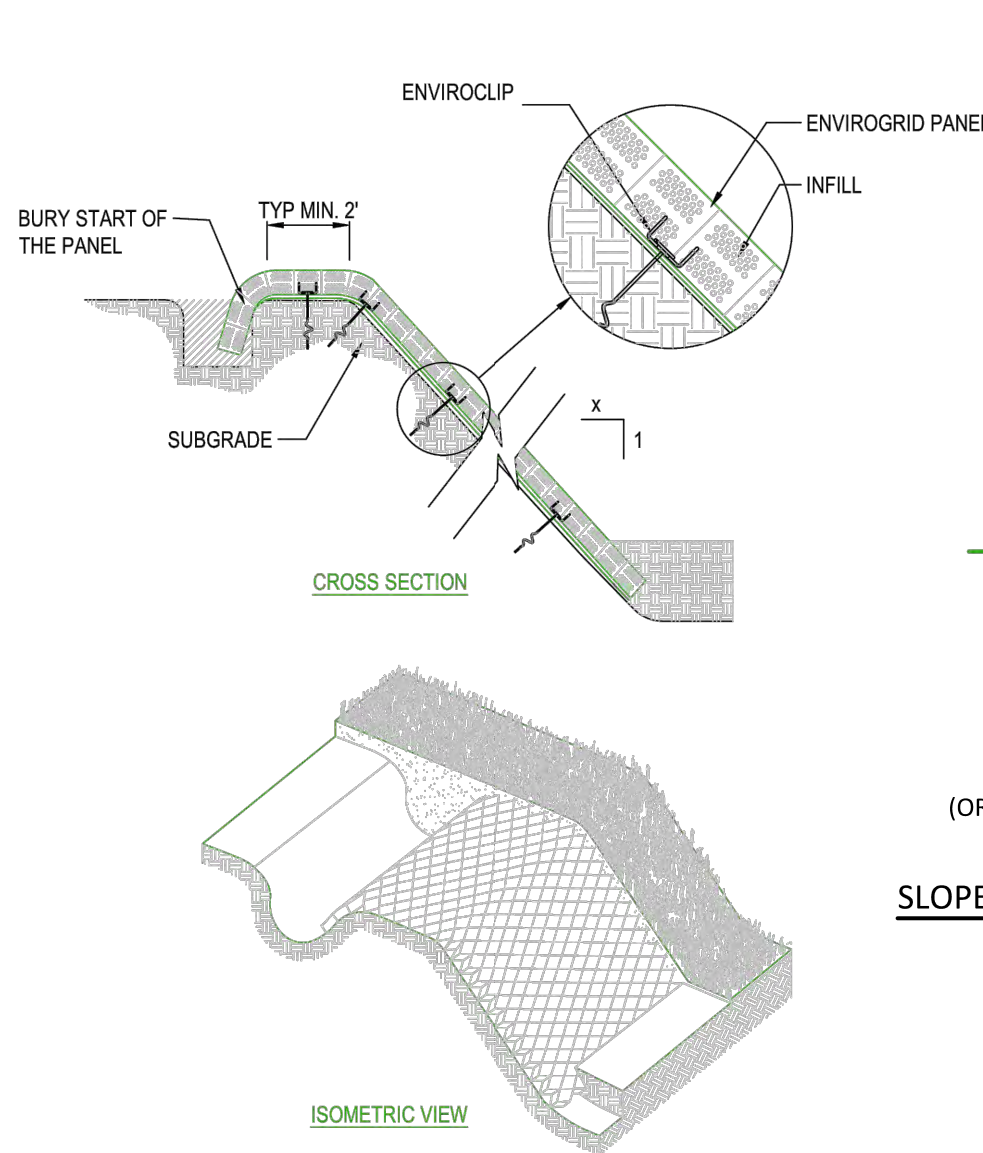
0"-9"
9"-14"
14"-99"
HORIZON A: FINE LOAMY SAND
HORIZON B: LOAMY SAND
LAYER C: GRAVELY LOAMY SAND

ESHW AT 38"
WEEPING AT 38"
STANDING WATER AT 65"

TP D-10

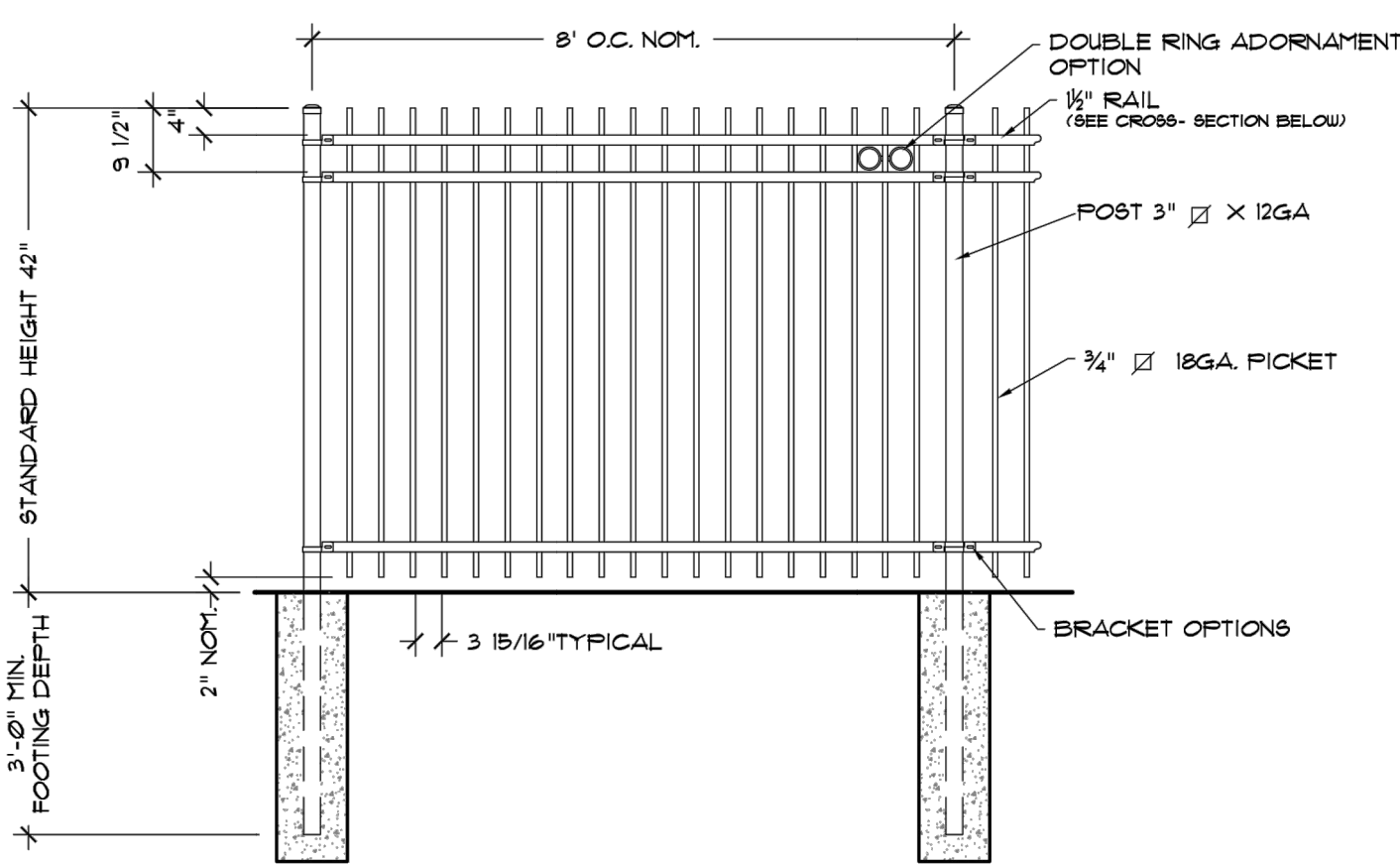
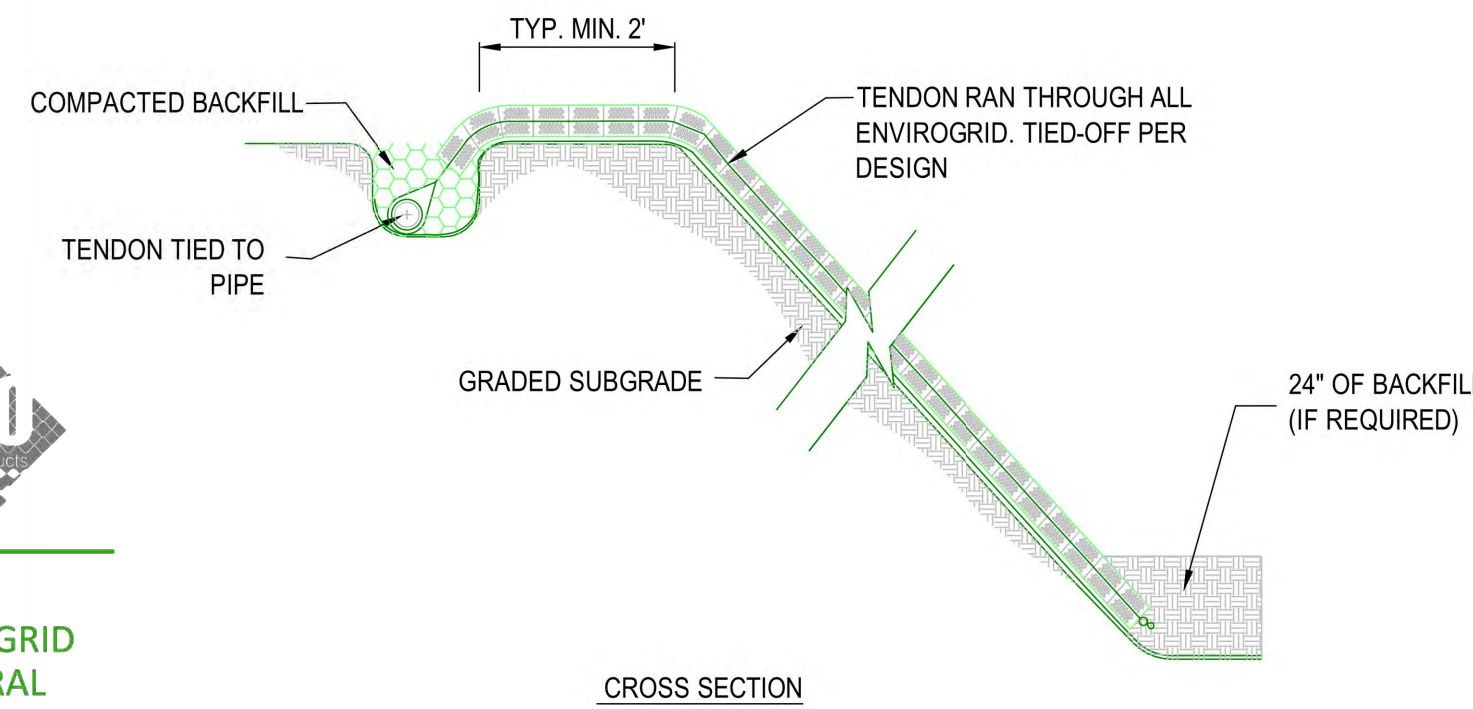
0"-11"
11"-24"
24"-67"
HORIZON A: LOAMY SAND
HORIZON B: MEDIUM SAND
LAYER C: MEDIUM SAND

ESHW NOT OBSERVED
NO WEEPING, NO STANDING WATER

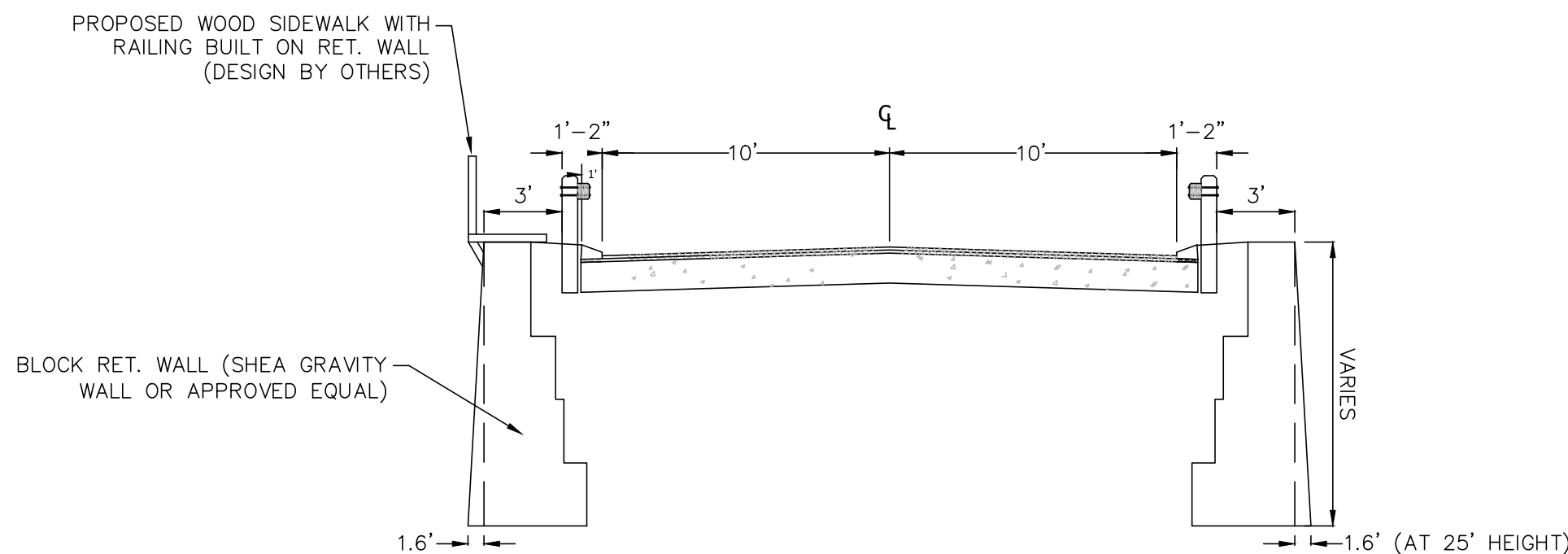


ENVIROGRID
GENERAL
SLOPE
DESIGN
(OR APPROVED EQUIVALENT)

SLOPE STABILIZATION DETAIL
(NOT TO SCALE)



SITE FENCINF DETAIL
(NOT TO SCALE)



INTERIOR CROSSONG ROAD SECTION
(NOT TO SCALE)

I, _____ CLERK OF THE TOWN OF GROTON,
MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF
THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND
RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED
DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF
SAID NOTICE.

TOWN CLERK

DATE

DATE:

I DECLARE, TO THE BEST OF MY PROFESSIONAL
KNOWLEDGE, INFORMATION, AND BELIEF, THAT
THIS PLAN WAS PREPARED IN ACCORDANCE WITH
THE RULES AND REGULATIONS OF THE REGISTERS
OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE

FOR REGISTRY OF DEEDS USE ONLY

APPROVED BY:
GROTON PLANNING BOARD



MERIDIAN
ASSOCIATES

500 CLIMMINGS CENTER, SUITE 5050
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM

CHECKED BY: CEW

DESIGNED BY:

DATE:
FEBRUARY 5, 2021

SCALE:
N.T.S.

SHEET No.
27 OF 27

PROJECT No.
6332

THE VILLAGE AT SHEPLEY HILL
DETAIL SHEET
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

REVISIONS

DATE	DESCRIPTION	BY